

GENERAL NOTES

- * DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY
- * ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- * UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO SCHEDULE 4 OF NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA, VOLUME 2.
- * ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- * THE OWNER BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITION) BUILDING REGULATIONS, LOCAL BY-LAWS AND WORKING DRAWINGS REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- * THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALLSTORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND / OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- * ALL WORKS SHALL COMPLY WITH BUT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.
 - A.S. 1288 - 2006 GLASS IN BUILDING - SELECTION AND INSTALLATION
 - A.S. 1562 - 2018 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING
 - A.S. 1684 - 2010 NATIONAL TIMBER FRAMING CODE
 - A.S. 1860 - 2006 INSTALLATION OF PARTICLEBOARD FLOORING
 - A.S. 2049 - 2002 ROOF TILES
 - A.S. 2050 - 2018 INSTALLATION OF ROOF TILES
 - A.S. 2870 - 2011 RESIDENTIAL SLABS AND FOOTINGS
 - A.S. 2904 - 1995 DAMP - PROOF AND FLASHING
 - A.S. 3600 - 2018 CONCRETE STRUCTURES
 - A.S. 3660.1- 2014 TERMITE MANAGEMENT
 - A.S. 3700 - 2018 MASONRY STRUCTURES
 - A.S. 3740 - 2010 WATERPROOFING OF DOMESTIC WET AREA
 - A.S. 3786 - 2014 SMOKE ALARMS
 - A.S. 4055 - 2012 WIND LOADS FOR HOUSING.
 - A.S. 4100 - 1998 STEEL STRUCTURES.
 - A.S.4200 - 2017 INSTALLATION OF PLIABLE BUILDING MEMBRANE TO EXTERNAL WALL
- * THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.
- * **SOIL CLASSIFICATION**
THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT BY : _____
REPORT No. : _____

FOOTINGS TO BE FOUNDED AT MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. THE H.G.F.L. RECOMMENDS THAT FOOTINS/SLABS & DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

- * WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
- * GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
 - BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND
 - NCC 2019 BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.
- * SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
 - 1) ALL ROOMS - WITHIN 500mm VERTICAL OF FLOOR.
 - 2) BATHROOMS - WITHIN 1500mm VERTICAL FROM THE BATH BASE
 - 3) LAUNDRY - WITHIN 1200 mm VERTICAL FROM FLOOR AND / OR WITHIN 300mm HORIZONTAL FROM ALL DOORS.
 - 4) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS
 - 5) SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS
- * WINDOWS SIZES ARE NORMAL ONLY ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND
- * STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO SATISFACTION OF RELEVANT AUTHORITY AT 90mm Ø FALLS 1 : 100.
- * SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.
- * WALL FINISHES SHALL BE IMPERVIOUS TO HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
- * PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CTRS. IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATED JOINTS.
- * SUB - FLOOR TO PROVIDE A RATE OF 7500mm sq. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm sq CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.
- * PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOOR WITH PARTICLE BOARD FLOORING.
- * FOR NEW DWELLINGS OR ADDITIONS TO DWELLINGS : PROVIDE THERMAL INSULATION AS PER ENERGY REPORT. REFER B.C.A. VICTORIA APPENDIX PART 6 RFL TO COMPLY WITH A.S. 1904 AND HAVE A FLAMABILITY INDEX OF NOT MORE THAN 5.
- * **WATERPROOFING** OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010 : *WATERPROOFING OF DOMESTIC WET AREAS.*
- * **CLIMATE ZONE**
CLIMATE ZONE FOR THERMAL DESIGN / THERMAL PERFORMANCE ASSESSMENT : ZONE 6.
- * THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
- * **STAIR REQUIREMENTS** (other than for spiral stairs) :
 - RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
 - GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
 - 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
 - WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS OR USE CLOSED RISERS.
 - ALL TREADS, LANDINGS AND THE LIKE TO HAVE A

- SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P3 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- STAIR NOSINGS AND LANDINGS. MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.
- * PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE :
 - 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- * WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2019 BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS
- * TOP OF HAND RAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- * **CONCRETE STUMPS**
 - UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE)
 - 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES)
 - 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)
 - 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- * **STORMWATER**
_____mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall be not less than
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways
- * ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- * THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
- * BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2010 'MASONRY IN SMALL BUILDINGS' PART 1: DESIGN.
- * FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1650 OR A.S. 3700-1988 TABLE 2.2, HOT DIPPED GALV. S/LESS STEEL OR CADMIUM COATED.

- * (S) DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S 3786 - 1993, 1.4-2004, AND AS. 3786-2014 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
- * INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- * THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS / DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- * These plans have been prepared for the exclusive use by the client of **2FORM CONSULTING PTY LTD** ('The Designer') for the purpose expressly notified to the author. any other person who use or relies on these plans without the authors written consent does so at own risk and no responsibility is accepted by the author for such use and/or reliance.
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- * The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- * These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as guidelines. no responsibility is accepted for their use.

Working Drawing of Proposed Townhouse Development		These drawings must not be scaled. Figure Dimensions take precedence. It is the builder's duty of care to ensure responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and testing of materials. Any discrepancies are to be reported to the office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd.	Copyright on these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2Form Consulting Pty Ltd. will constitute an infringement of copyright. Remedies for infringement of copyright will be taken in accordance with the provisions of the Copyright Act 1968. All windows and door sizes to be verified on site prior to ordering.	Drawn: ET Checked: _____ Page: 1 of 43 Scale: A3 (1:100) Date: 13/05/2024 Job Number: ETJ_003_2021		PO Box 430 Yarraville vic 3013 Ph: 9687 2585 Mob: 0419 585 604
72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client: _____					

NOTE :

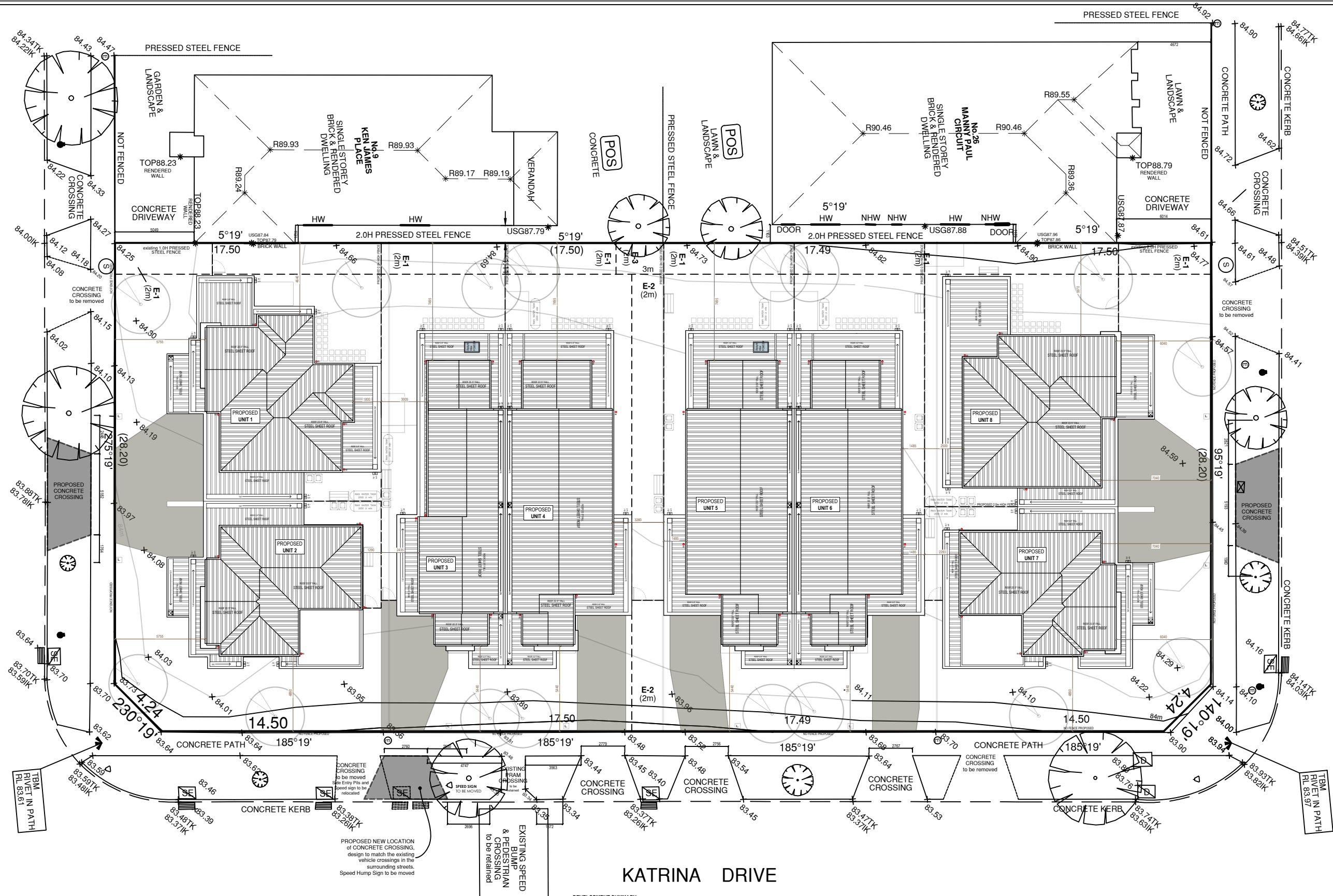
- ALL FFL'S are AHD
- dp DOWNPIPES
- ⊠ SUMP - INTERNAL CONCEALED DOWNPIPES
- ⊠ RAINHEADS
- CONNECT AND DISCHARGE STORMWATER TO COUNCIL REQUIREMENTS
- 90 Ø UPVC SW PIPE
- MIN GRADE OF 1 IN 100
- SHALL BE 100Ø SEWER

NOTE :

- 2000 Lt RAINWATER TANK TO BE CONNECTED TO ALL SANITARY FLUSHING UNITS

KEN JAMES PLACE

MANNY PAUL CIRCUIT



PROPOSED UNIT 1	PROPOSED UNIT 2	PROPOSED UNIT 3	PROPOSED UNIT 4	PROPOSED UNIT 5	PROPOSED UNIT 6	PROPOSED UNIT 7	PROPOSED UNIT 8	TOTAL
TOTAL FLOOR AREA 210.90 sqm	TOTAL FLOOR AREA 194.08 sqm	TOTAL FLOOR AREA 208.54 sqm	TOTAL FLOOR AREA 253.87 sqm	TOTAL FLOOR AREA 256.71 sqm	TOTAL FLOOR AREA 256.71 sqm	TOTAL FLOOR AREA 196.78 sqm	TOTAL FLOOR AREA 231.15 sqm	TOTAL FLOOR AREA 2174.68 sqm
PRIVATE OPEN SPACE 48.34 sqm	PRIVATE OPEN SPACE 96.16 sqm	PRIVATE OPEN SPACE 44.38 sqm	PRIVATE OPEN SPACE 56.69 sqm	PRIVATE OPEN SPACE 46.84 sqm	PRIVATE OPEN SPACE 46.84 sqm	PRIVATE OPEN SPACE 99.96 sqm	PRIVATE OPEN SPACE 40.89 sqm	PRIVATE OPEN SPACE 1076.35 sqm
OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 16
SITE COVERAGE 6.16 %	SITE COVERAGE 5.17 %	SITE COVERAGE 5.58 %	SITE COVERAGE 6.77 %	SITE COVERAGE 6.87 %	SITE COVERAGE 6.87 %	SITE COVERAGE 5.46 %	SITE COVERAGE 6.68 %	PERMEABLE AREA 906.95 sqm
								PERMEABLE AREA 41.70 %



SITE PLAN
SCALE 1:250 ON A3

Working Drawing of Proposed Townhouse Development
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NOTE :

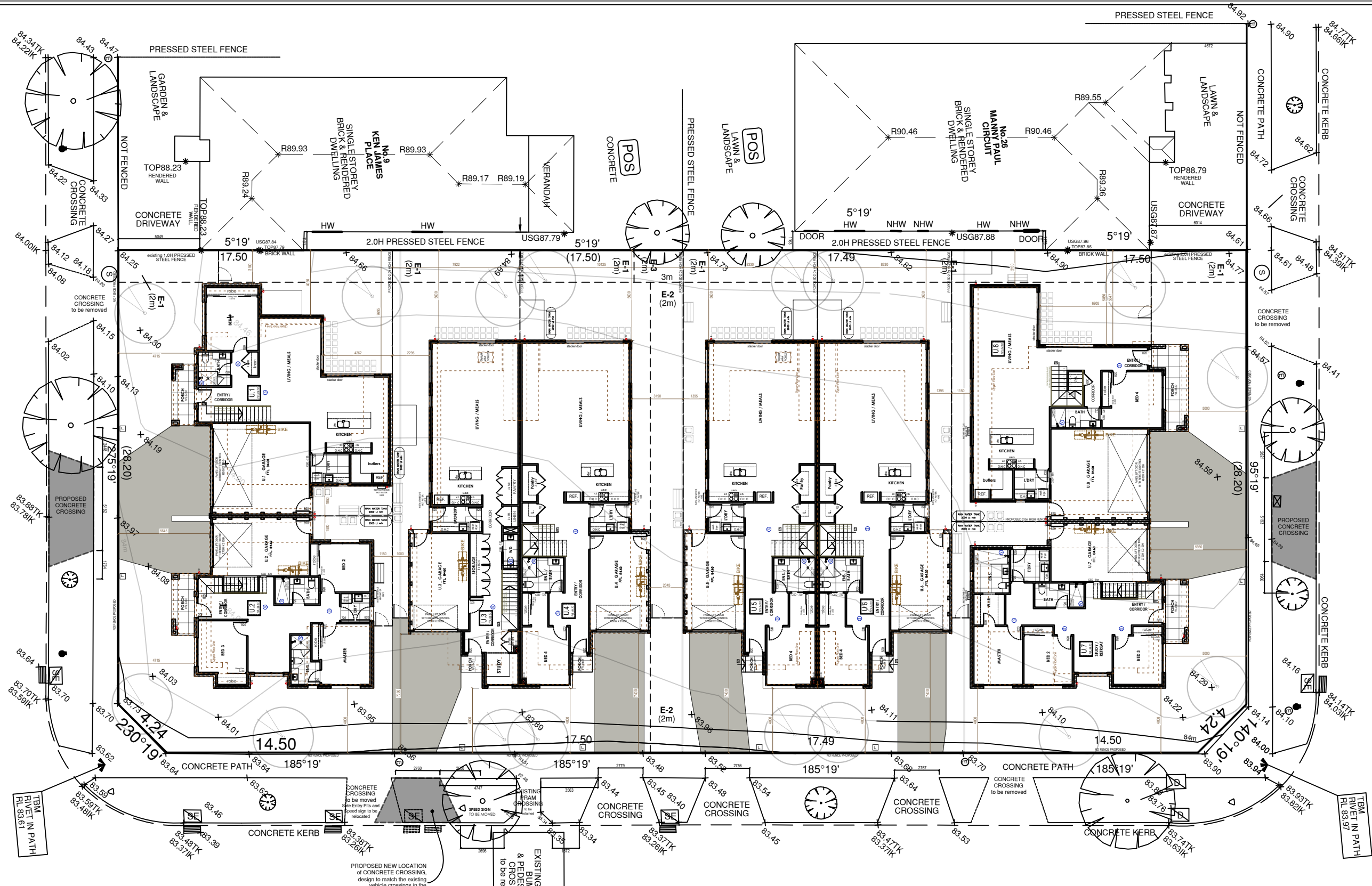
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- ⊠ RAINHEADS
- CONNECT AND DISCHARGE STORMWATER TO COUNCIL REQUIREMENTS
- 90 Ø UPVC SW PIPE
- MIN GRADE OF 1 IN 100
- SHALL BE 100Ø SEWER

NOTE :

- 2000 Lt RAINWATER TANK TO BE CONNECTED TO ALL SANITARY FLUSHING UNITS

KEN JAMES PLACE

MANNY PAUL CIRCUIT



BUILDING AREA UNIT 1		BUILDING AREA UNIT 2		BUILDING AREA UNIT 3		BUILDING AREA UNIT 4		BUILDING AREA UNIT 5		BUILDING AREA UNIT 6		BUILDING AREA UNIT 7		BUILDING AREA UNIT 8	
GROUND FLOOR	93.38 sqm / 10.04 sq	94.04 sqm / 10.05 sq	97.22 sqm / 10.47 sq	123.07 sqm / 13.25 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq	124.79 sqm / 13.43 sq
GARAGE	38.27 sqm / 4.13 sq	22.59 sqm / 2.43 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq	23.00 sqm / 2.46 sq
FIRST FLOOR	76.88 sqm / 8.27 sq	66.67 sqm / 7.19 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq	87.00 sqm / 9.30 sq
PORCH	3.37 sqm / 0.36 sq	5.36 sqm / 0.58 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq	1.28 sqm / 0.14 sq
BALCONY	14.92 sqm / 1.61 sq	14.92 sqm / 1.61 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq	208.54 sqm / 22.45 sq
TOTAL	210.99 sqm / 22.70 sq	194.93 sqm / 21.09 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq	318.04 sqm / 34.19 sq

LAYOUT PLAN
SCALE 1:250 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

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NOTE:

(V) PROVIDE MECHANICAL VENTILATION WITH DAMPER OR FLAP, DUCTED TO THE OUTSIDE AIR

MECHANICAL EXHAUST FAN IS TO PROVIDE MINIMUM AIR FLOW DUCTED TO OUTTER AIR AS BELOW :

- 25L/s FOR BATHROOMS and SANITARY,
- 40L/s FOR KITCHEN and LAUNDRY

AS PER CLAUSE 3.8.7.3 of NCC 2019, EXHAUST FROM BATHROOM, SANITARY COMPARTMENT, or LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT or DUCT TO OUTDOOR AIR or TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4 of NCC 2019

(S) PROVIDE SMOKE ALARMS HARDWIRED AND ARE TO COMPLY AS. 3786-1993, 1.4-2004, AND AS. 3786-2014 & RELEVANT NCC BCA

ALL SMOKE DETECTORS TO BE INTERCONNECTED

NOTE :

WEEP-HOLES TO BE PROVIDED IN ACCORDANCE WITH SECTION 4.7.2 OF AS 3700

ALL LAND ADJACENT TO PERIMETER FOOTING MUST BE GRADED AWAY AT 1:50 OVER 1m AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

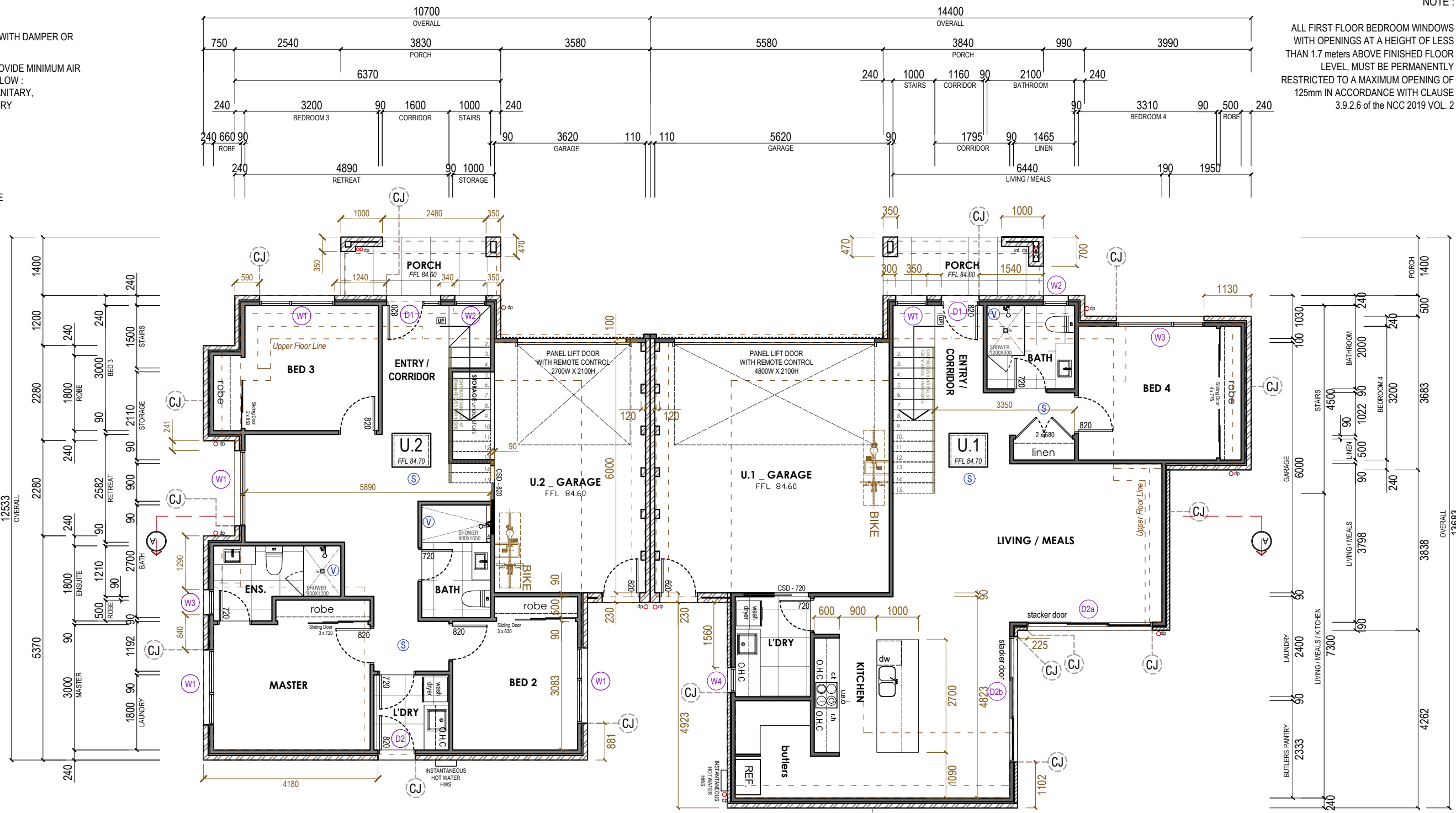
ALL SANITARY COMPARTMENTS TO HAVE OUTWARDS OPENING DOORS OR REMOVABLE HINGES FROM OUTSIDE.

ALL EXTERNAL EXITS ABOVE 190mm FROM GROUND LEVEL TO HAVE CONCRETE STEPS WITH 190mm MAX. RISERS AND 250mm MIN. TREADS.

ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

NOTE :

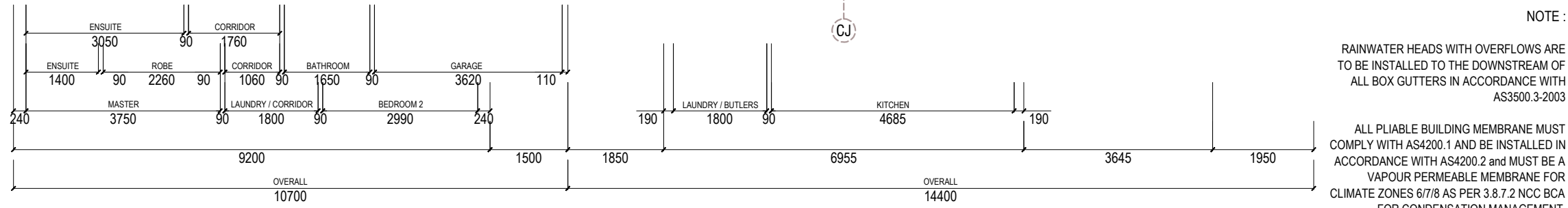
ALL FIRST FLOOR BEDROOM WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7 meters ABOVE FINISHED FLOOR LEVEL, MUST BE PERMANENTLY RESTRICTED TO A MAXIMUM OPENING OF 125mm IN ACCORDANCE WITH CLAUSE 3.9.2.6 of the NCC 2019 VOL. 2



(CJ) Construction Joint

BUILDING AREA

BUILDING AREA UNIT 1		BUILDING AREA UNIT 2	
GROUND FLOOR	93.30 sqm / 10.04 sq	GROUND FLOOR	84.04 sqm / 9.05 sq
GARAGE	35.37 sqm / 3.81 sq	GARAGE	23.09 sqm / 2.49 sq
FIRST FLOOR	76.86 sqm / 8.27 sq	FIRST FLOOR	66.67 sqm / 7.18 sq
PORCH	5.37 sqm / 0.58 sq	PORCH	5.36 sqm / 0.58 sq
TOTAL	210.90 sqm / 22.70 sq	TOTAL	194.08 sqm / 20.89 sq



NOTE :

RAINWATER HEADS WITH OVERFLOWS ARE TO BE INSTALLED TO THE DOWNSTREAM OF ALL BOX GUTTERS IN ACCORDANCE WITH AS3500.3-2003

ALL PLIABLE BUILDING MEMBRANE MUST COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 and MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT.



GROUND FLOOR PLAN _ unit 1 and 2

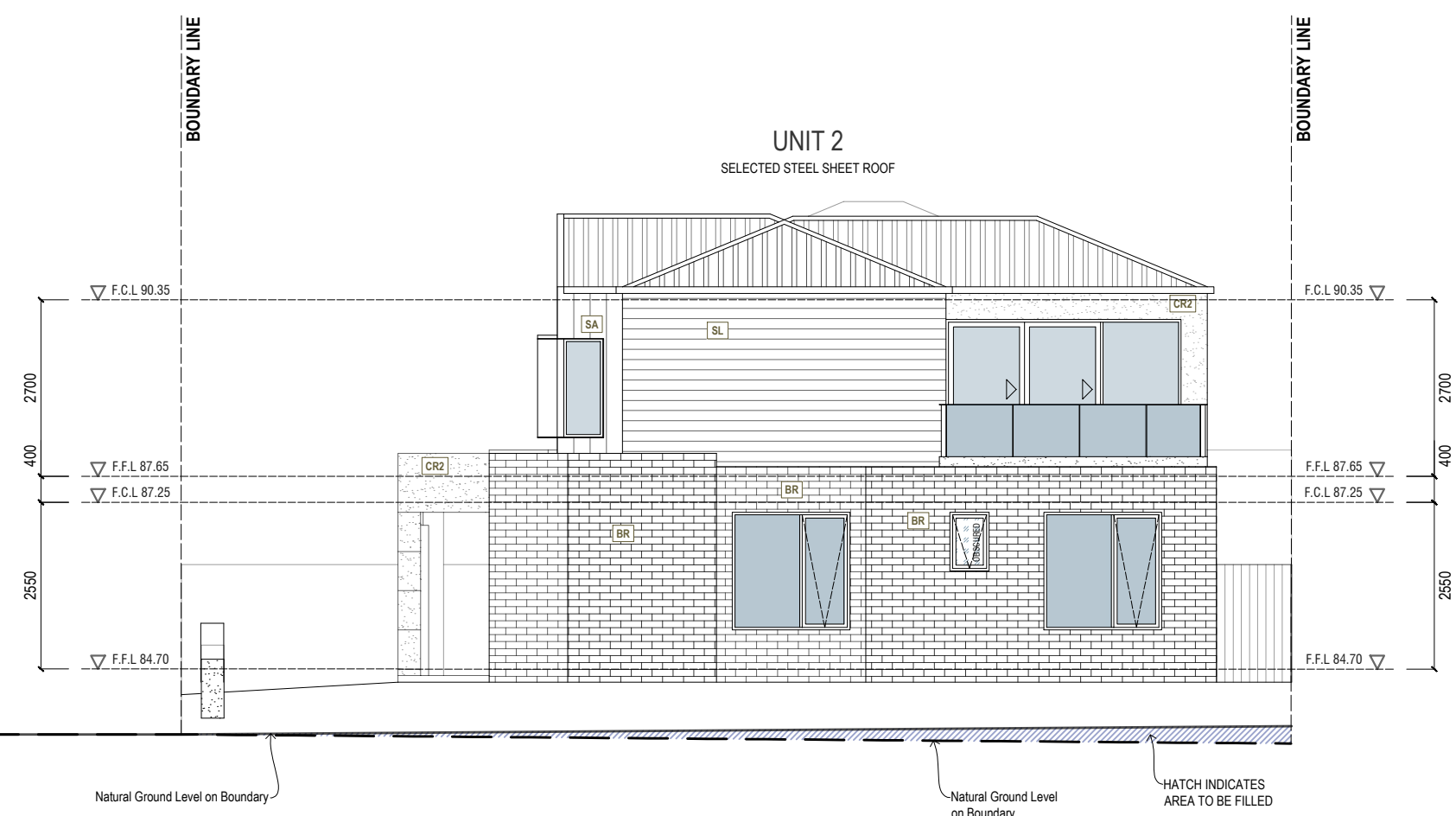
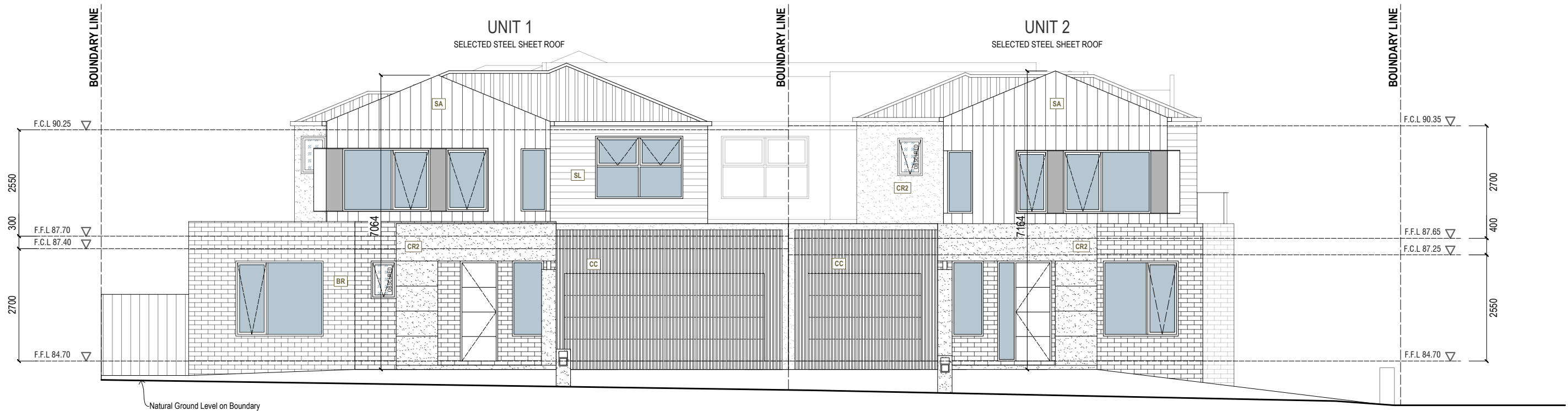
SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development
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	MATERIAL	NOTE
⊙ SL	HARDIE LINEA	WOODLAND GREY
⊙ SA	HARDIE AXON	SHALE GREY
⊙ CR	CEMENT RENDER	SHALE GREY
⊙ CR2	CEMENT RENDER 2	WOODLAND GREY
⊙ BR	SELECTED BRICKWORK	RED RECYCLED BRICK
⊙ CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN

A. NORTH ELEVATION

Working Drawing of Proposed Townhouse Development

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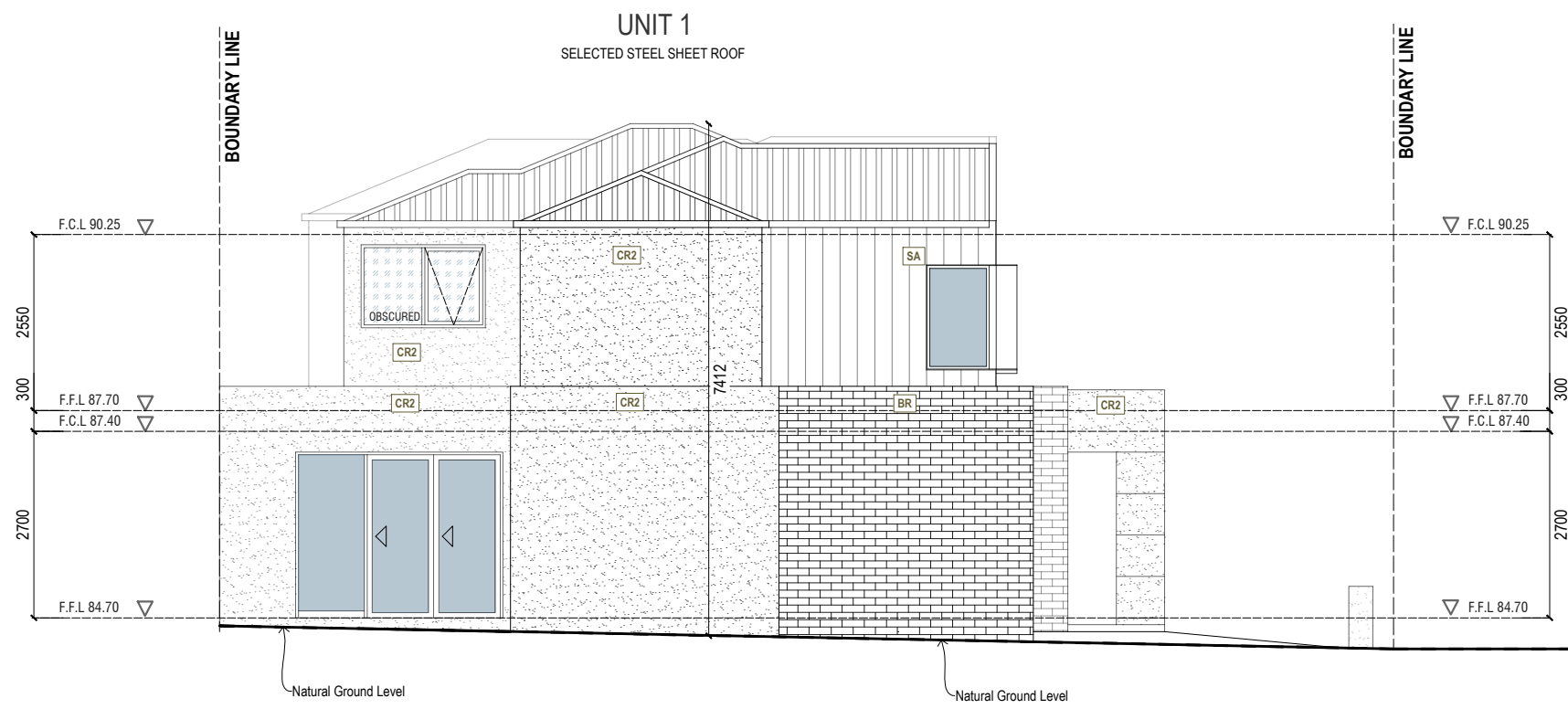
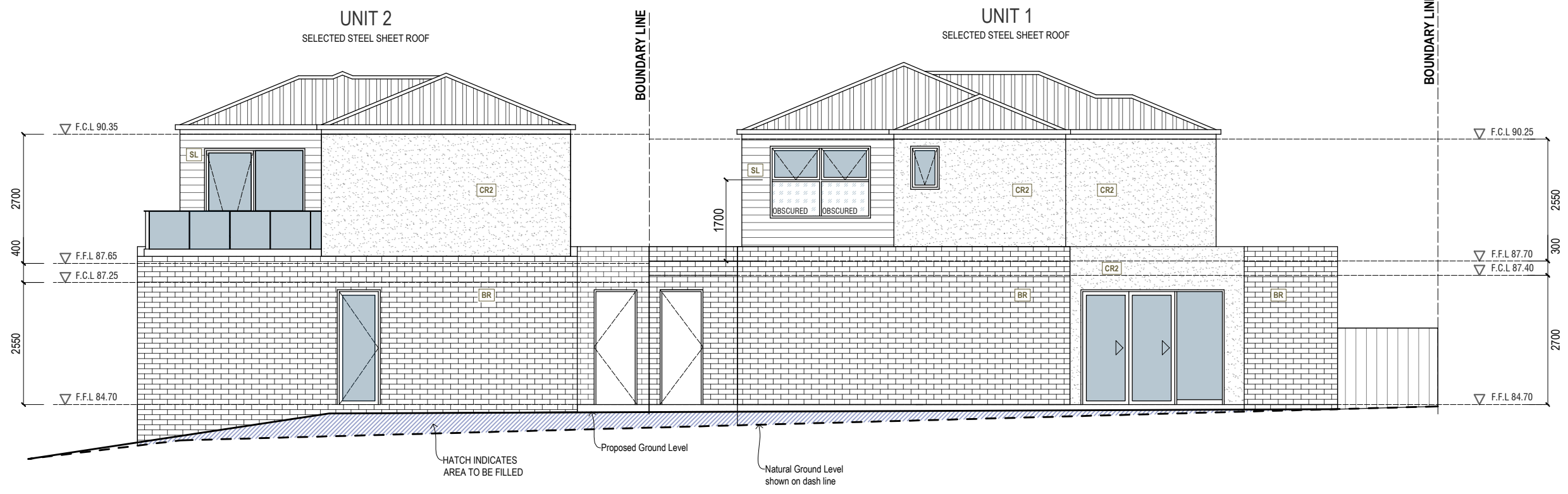
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Mob: 0419 585 604

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	MATERIAL	NOTE
SL	HARDIE LINEA	WOODLAND GREY
SA	HARDIE AXON	SHALE GREY
CR	CEMENT RENDER	SHALE GREY
CR2	CEMENT RENDER 2	WOODLAND GREY
Br	SELECTED BRICKWORK	RED RECYCLED BRICK
CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN

D. WEST ELEVATION

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client:

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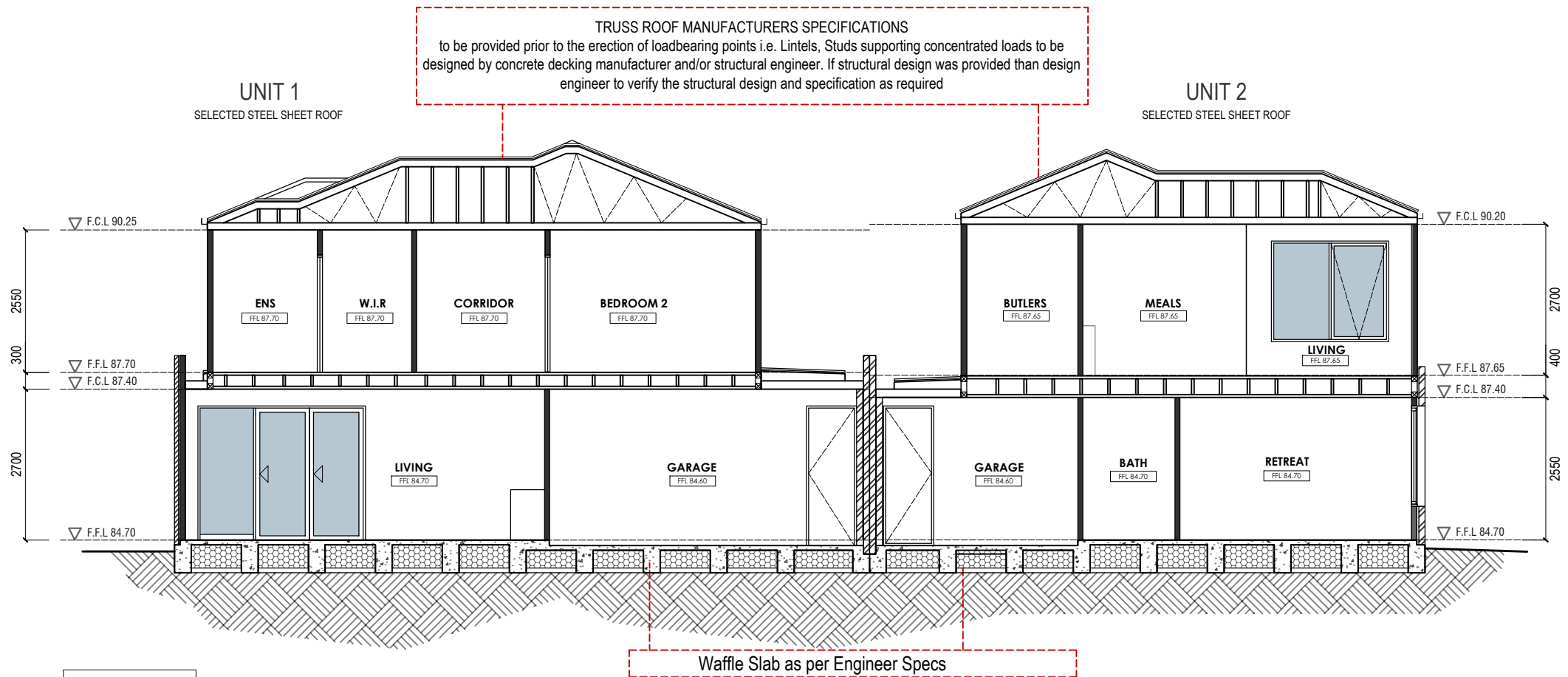
Page: 7 of 43

Scale: A3 (1:100) Date: 13/05/2024

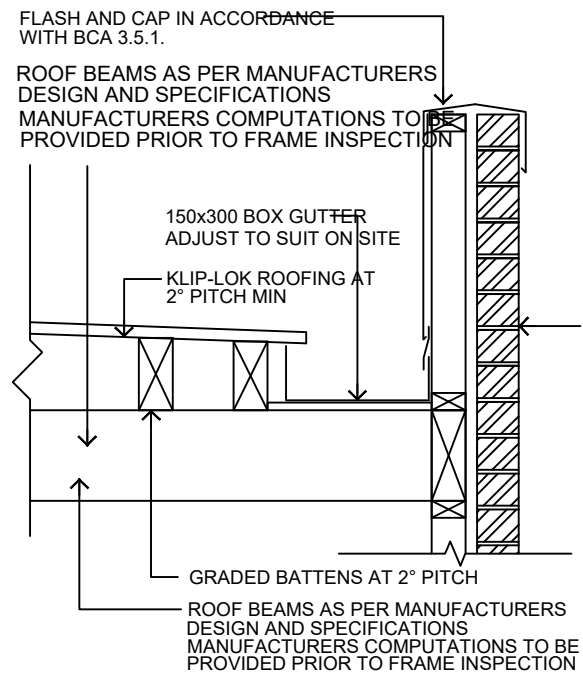
Job Number: ETJ_003_2021

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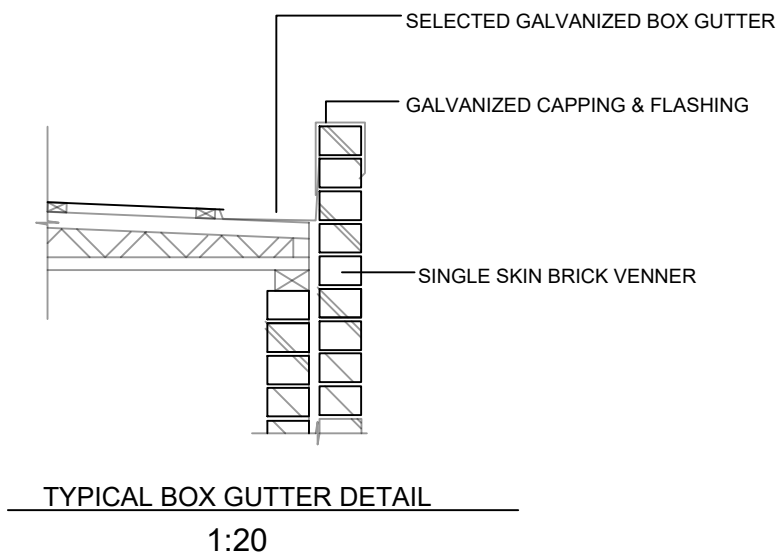
PO Box 430
Yarraville vic. 3013
Ph: 9687 2385
Mob: 0419 585 604



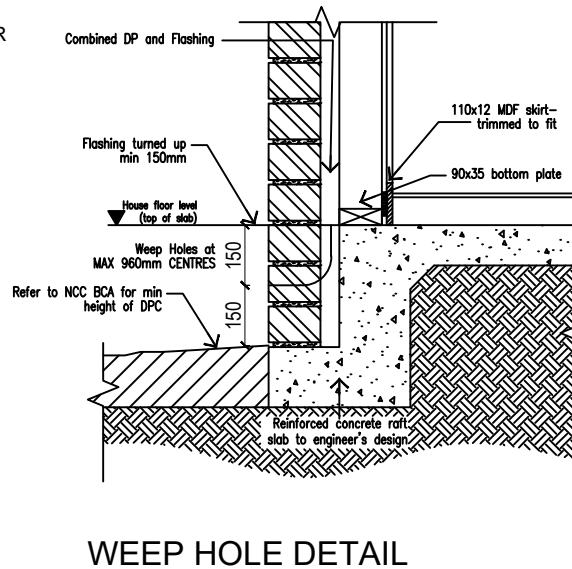
SECTION



TYPICAL BOX GUTTER DETAIL
SCALE 1:20

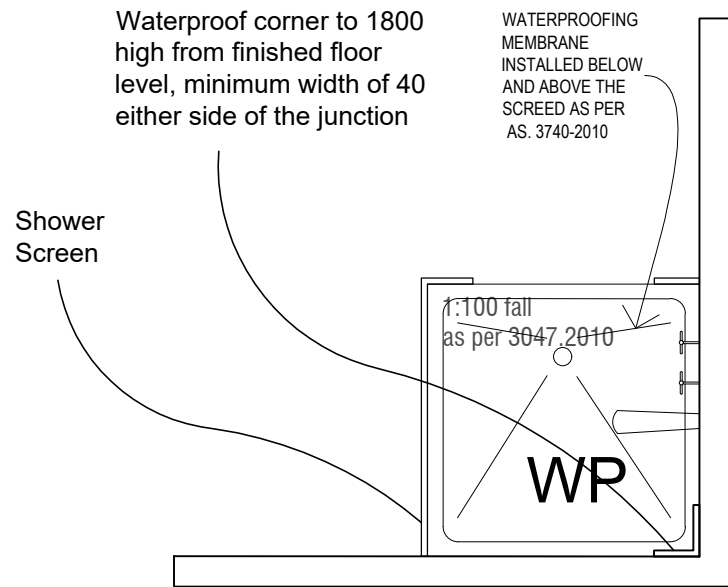


TYPICAL BOX GUTTER DETAIL
1:20



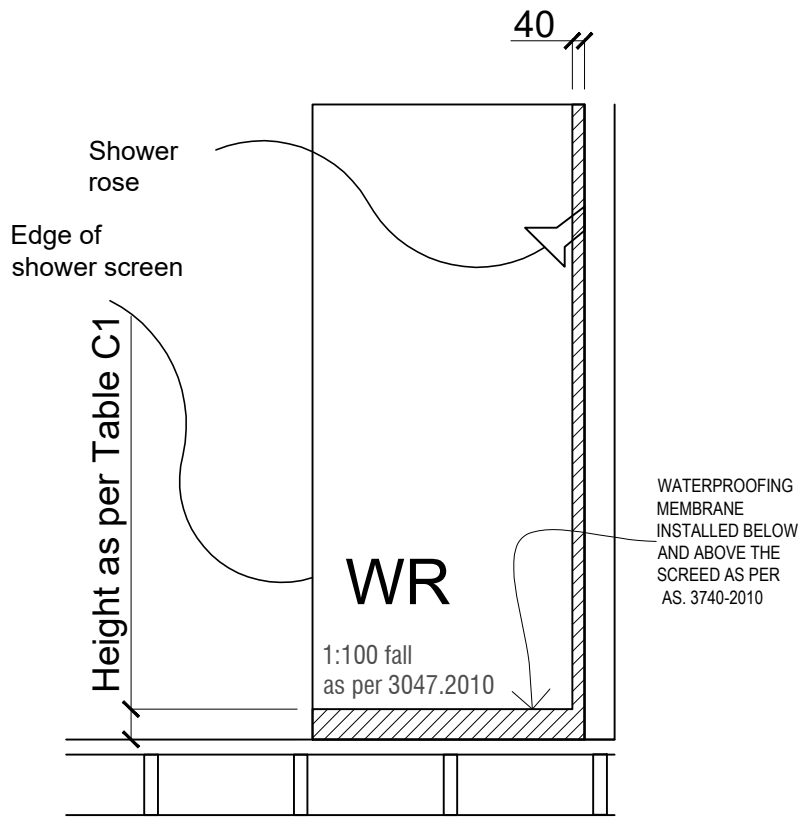
WEEP HOLE DETAIL

TIMBER SCHEDULE	
* FOR ALL TIMBER SIZES REFER TO TIMBER FRAMING MANUAL AS 1684	
WALLING:	
BOTTOM PLATES	90x45 MGP10 SINGLE STOREY / UPPER FLOOR
TOP PLATES	90x45 MGP10
BOTTOM PLATES	90x45 MGP12 GROUND FLOOR ON MULTI LEVEL
TOP PLATES	90x45 MGP12
RIBBON PLATES	2x90x35 MGP10 EXTERNAL LOAD BEARING WALLS ONLY
STUDS	90x45 MGP10 @ MAX. 600 ctrs.
JAMB STUDS	90x70 F5 OR 2/90x35
NOGGINGS	70x35 MERCH
PROVIDE METAL TENSION BRACING TO ALL WALLING USE STRUCTURAL MASONITE WHERE METAL BRACE NOT PRACTICAL.	
ROOFING:	
NOTE: CONCRETE DECKING ROOF TO MANUFACTURERS SPECIFICATIONS	
LINTELS:	
LINTELS AS PER AS 1684.	
OPENINGS TO 600mm	90x35 F5
OPENINGS TO 1400mm	140x35 F7
OPENINGS TO 2100mm	190x35 F7
OPENINGS TO 2700mm	240x45 F17



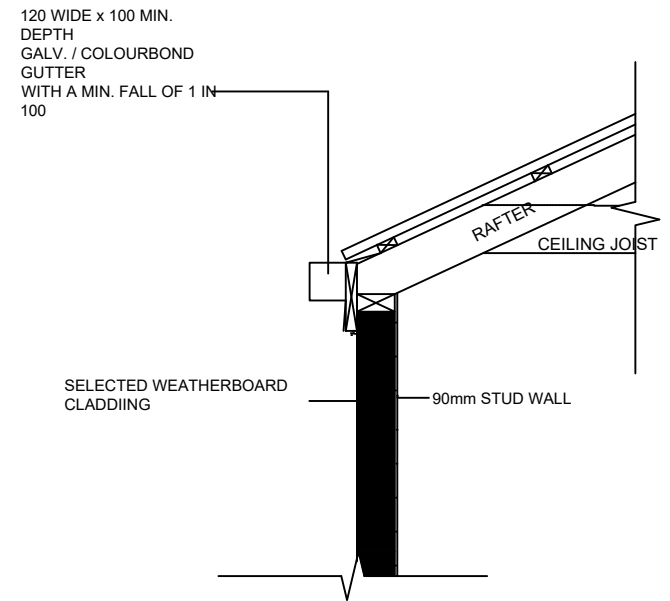
ENCLOSED SHOWER WATERPROOF PLAN

to comply with AS. 3740
SCALE 1:30 on A3



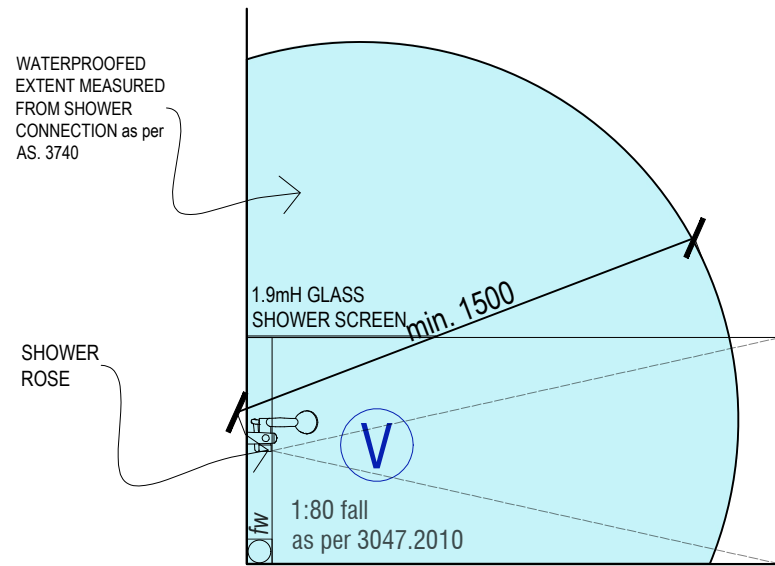
ENCLOSED SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3



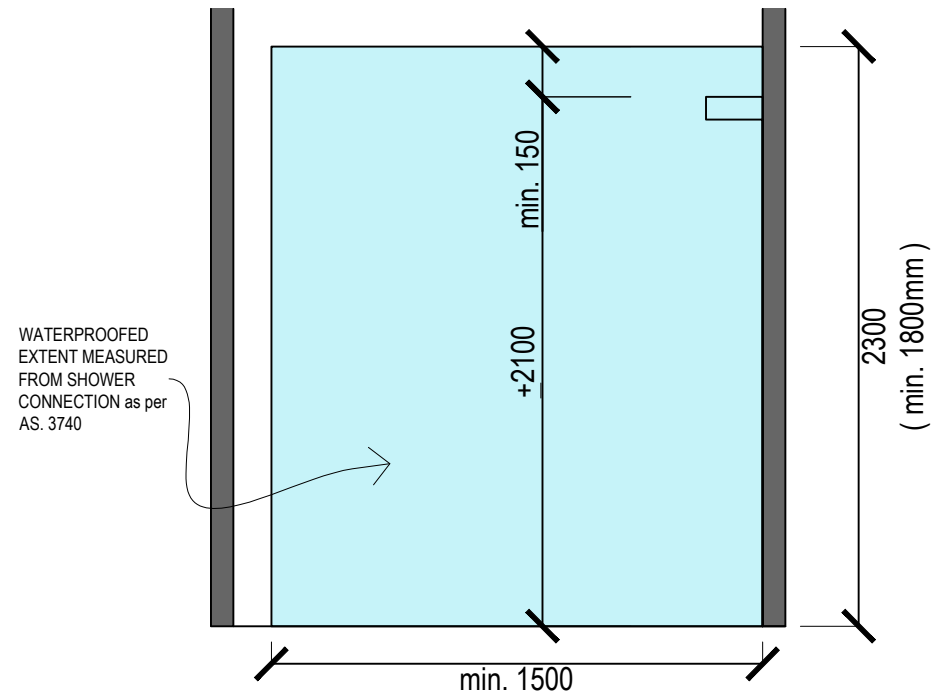
TYPICAL GUTTER ON WALL DETAIL

SCALE 1:20



SHOWER WATERPROOF PLAN

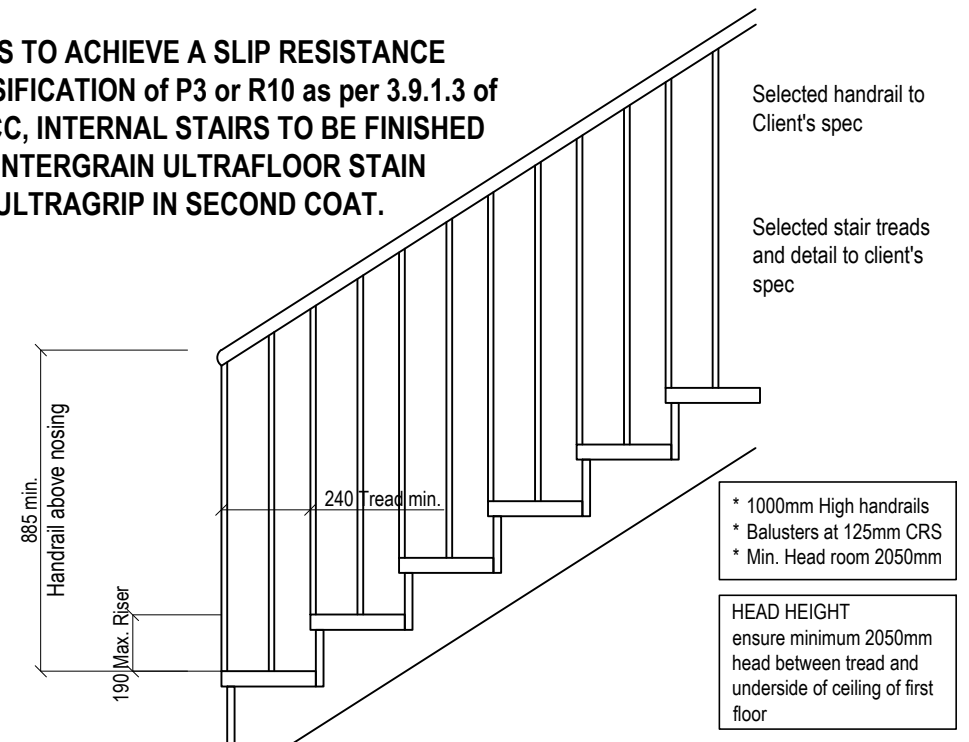
to comply with AS. 3740
SCALE 1:30 on A3



SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3

STAIRS TO ACHIEVE A SLIP RESISTANCE CLASSIFICATION of P3 or R10 as per 3.9.1.3 of the NCC, INTERNAL STAIRS TO BE FINISHED WITH INTERGRAIN ULTRAFLOOR STAIN WITH ULTRAGRIP IN SECOND COAT.

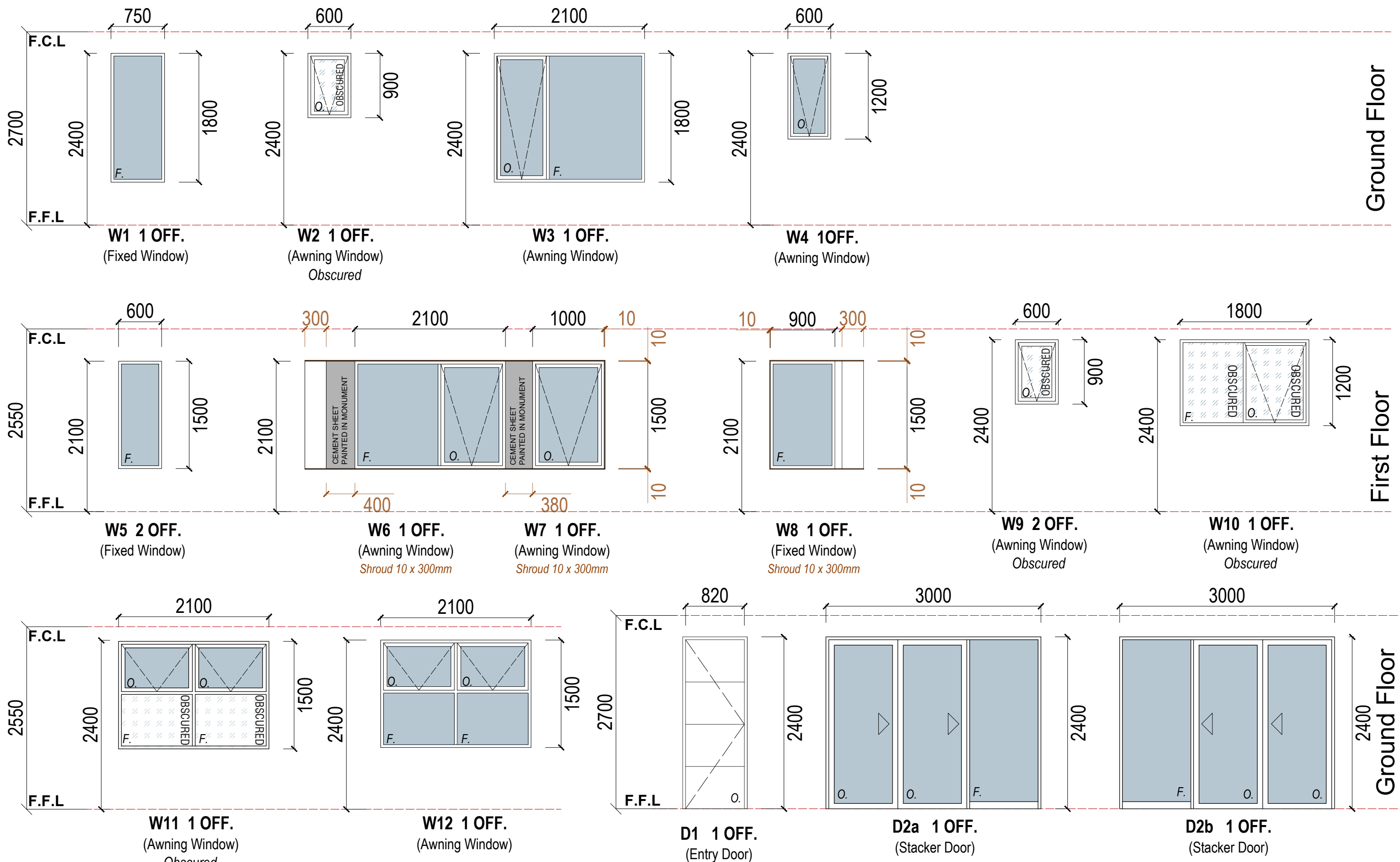


STAIR DETAIL (TYPICAL)

SCALE 1:20

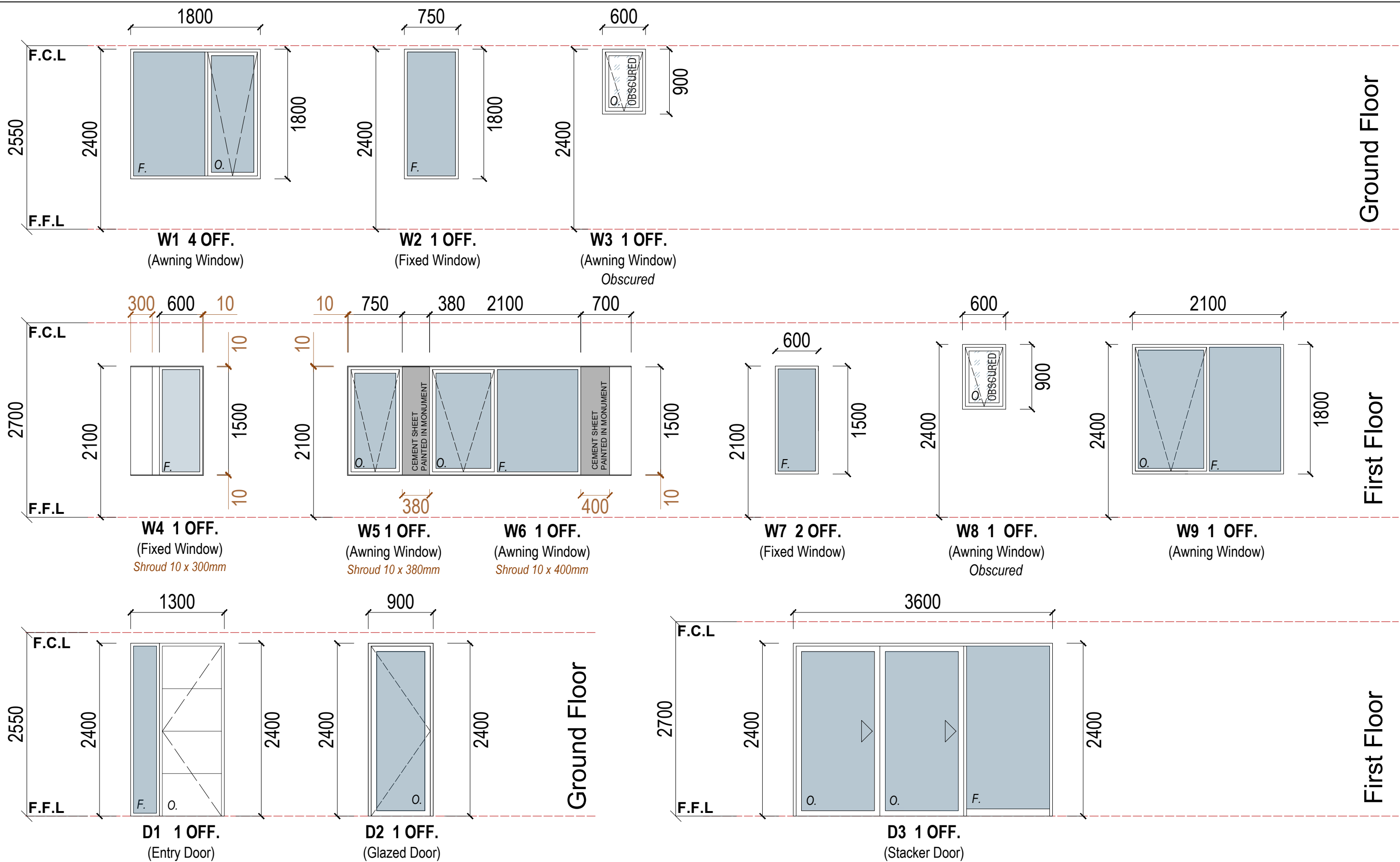
DETAILS

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked:	Page: 9 of 43 Scale: A3 (1:100) Date: 13/05/2024	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	Job Number: ETJ_003_2021	Copyright in these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. It is the holder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd.		



WINDOWS SCHEDULE _ UNIT 1
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	<small>These drawings must not be scaled. Figure dimensions take precedence.</small> <small>It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials.</small> <small>Any discrepancies are to be reported to this office immediately.</small> <small>These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.</small>	Drawn: ET Checked:	Page: 10 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9607 2385 Mob: 0419 585 604
	<small>Copyright in these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd.</small> <small>It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials.</small> <small>Any discrepancies are to be reported to this office immediately.</small> <small>These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.</small>				



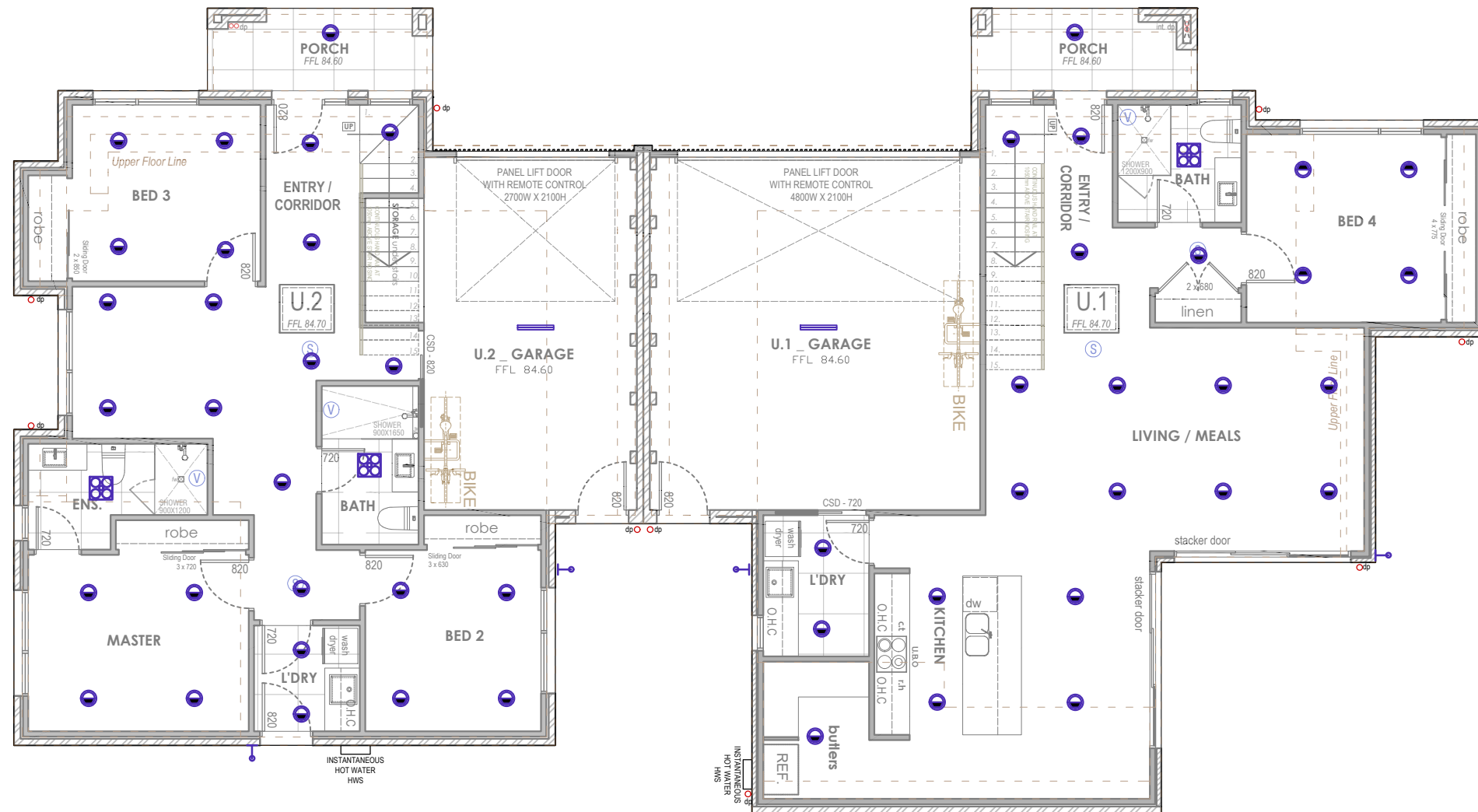
WINDOWS SCHEDULE _ UNIT 2
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 11 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9667 2385 Mob: 0419 585 604
	<small> These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd. </small>		

PROPOSED UNIT 1

LIVING AREA : 170.16sqm
 MAXIMUM ALLOWED WATT USAGE : 850.8 WATT
 INTERNAL LIGHTS : 43 of 9 Watt LED Downlights = 387 Watt
 TOTAL WATT USAGE = 387 WATT

EXTERNAL AREA : 20.89 sqm
 MAXIMUM ALLOWED WATT USAGE : 83.56 WATT
 EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt
 TOTAL WATT USAGE = 27 WATT



ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
 (RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	

PROPOSED UNIT 2

LIVING AREA : 150.71
 MAXIMUM ALLOWED WATT USAGE : 753.55 WATT
 INTERNAL LIGHTS : 43 of 9 Watt LED Downlights = 531 Watt
 TOTAL WATT USAGE = 387 WATT

EXTERNAL AREA : 47.96 sqm
 MAXIMUM ALLOWED WATT USAGE : 191.84 WATT
 EXTERNAL LIGHTS : 4 of 9 Watt LED Downlights = 27 Watt
 TOTAL WATT USAGE = 27 WATT



ARTIFICIAL LIGHTING GROUND FLOOR PLAN
 _ unit 1 and 2

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client:

Drawn: ET Checked:

Page: 12 of 43

Scale A3 (1:100) Date: 13/05/2024

Job Number: ETJ_003_2021

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PROPOSED UNIT 1

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 59 of 9 Watt LED Downlights = 531 Watt

TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



PROPOSED UNIT 2

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 59 of 9 Watt LED Downlights = 531 Watt

TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT

ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
(RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	



ARTIFICIAL LIGHTING FIRST FLOOR PLAN
_ unit 1 and 2

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client:

Page: 13 of 43
Scale A3 (1:100) Date: 13/05/2024
Job Number: ETJ_003_2021

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NOTE:

(V) PROVIDE MECHANICAL VENTILATION WITH DAMPER OR FLAP, DUCTED TO THE OUTSIDE AIR

MECHANICAL EXHAUST FAN IS TO PROVIDE MINIMUM AIR FLOW DUCTED TO OUTTER AIR AS BELOW :
 - 25L/s FOR BATHROOMS and SANITARY,
 - 40L/s FOR KITCHEN and LAUNDRY

AS PER CLAUSE 3.8.7.3 of NCC 2019, EXHAUST FROM BATHROOM, SANITARY COMPARTMENT, or LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT or DUCT TO OUTDOOR AIR or TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4 of NCC 2019

(S) PROVIDE SMOKE ALARMS HARDWIRED AND ARE TO COMPLY AS. 3786-1993, 1.4-2004, AND AS. 3786-2014 & RELEVANT NCC BCA

ALL SMOKE DETECTORS TO BE INTERCONNECTED

NOTE :

WEEP-HOLES TO BE PROVIDED IN ACCORDANCE WITH SECTION 4.7.2 OF AS 3700

ALL LAND ADJACENT TO PERIMETER FOOTING MUST BE GRADED AWAY AT 1:50 OVER 1m AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

ALL SANITARY COMPARTMENTS TO HAVE OUTWARDS OPENING DOORS OR REMOVABLE HINGES FROM OUTSIDE.

ALL EXTERNAL EXITS ABOVE 190mm FROM GROUND LEVEL TO HAVE CONCRETE STEPS WITH 190mm MAX. RISERS AND 250mm MIN. TREADS.

ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

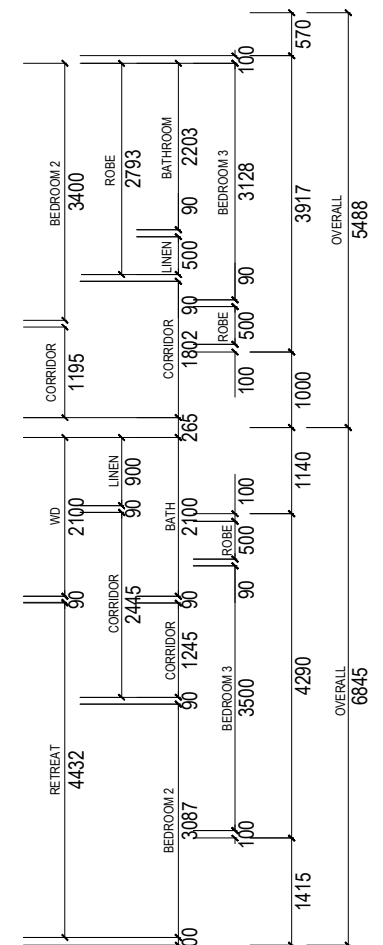
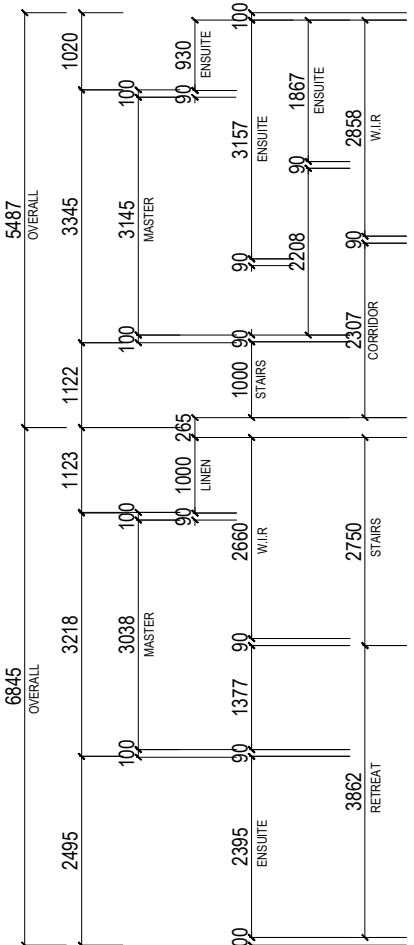
NOTE :

ALL FIRST FLOOR BEDROOM WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7 METERS ABOVE FINISHED FLOOR LEVEL, MUST BE PERMANENTLY RESTRICTED TO A MAXIMUM OPENING OF 125mm IN ACCORDANCE WITH CLAUSE 3.9.2.6 OF THE NCC 2019 VOL. 2

NOTE :

RAINWATER HEADS WITH OVERFLOWS ARE TO BE INSTALLED TO THE DOWNSTREAM OF ALL BOX GUTTERS IN ACCORDANCE WITH AS3500.3-2003

ALL PLIABLE BUILDING MEMBRANE MUST COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT.



BUILDING AREA

BUILDING AREA UNIT 3		BUILDING AREA UNIT 4	
GROUND FLOOR	97.22 sqm / 10.47 sq	GROUND FLOOR	123.07 sqm / 13.25 sq
GARAGE	23.0 sqm / 2.48 sq	GARAGE	23.00 sqm / 2.48 sq
FIRST FLOOR	87.0 sqm / 9.36 sq	FIRST FLOOR	106.58 sqm / 11.47 sq
PORCH	1.32 sqm / 0.14 sq	PORCH	1.12 sqm / 0.13 sq
TOTAL	208.54 sqm / 22.45 sq	TOTAL	253.87 sqm / 27.33 sq

BORAL PARTI-WALL

SYSTEM DESCRIPTION	FIRE RESISTANCE LEVEL (FR)	ACCOMMODATION BASED ON EXISTING DWG			
		UNIT 3	UNIT 4	UNIT 5	UNIT 6
PWT001	FR 60/60/60	NA	NA	NA	NA
PWT002	FR 60/60/60	NA	NA	NA	NA
PWT003	FR 60/60/60	NA	NA	NA	NA
PWT004	FR 60/60/60	NA	NA	NA	NA
PWT005	FR 60/60/60	NA	NA	NA	NA
PWT006	FR 60/60/60	NA	NA	NA	NA
PWT007	FR 60/60/60	NA	NA	NA	NA
PWT008	FR 60/60/60	NA	NA	NA	NA
PWT009	FR 60/60/60	NA	NA	NA	NA
PWT010	FR 60/60/60	NA	NA	NA	NA



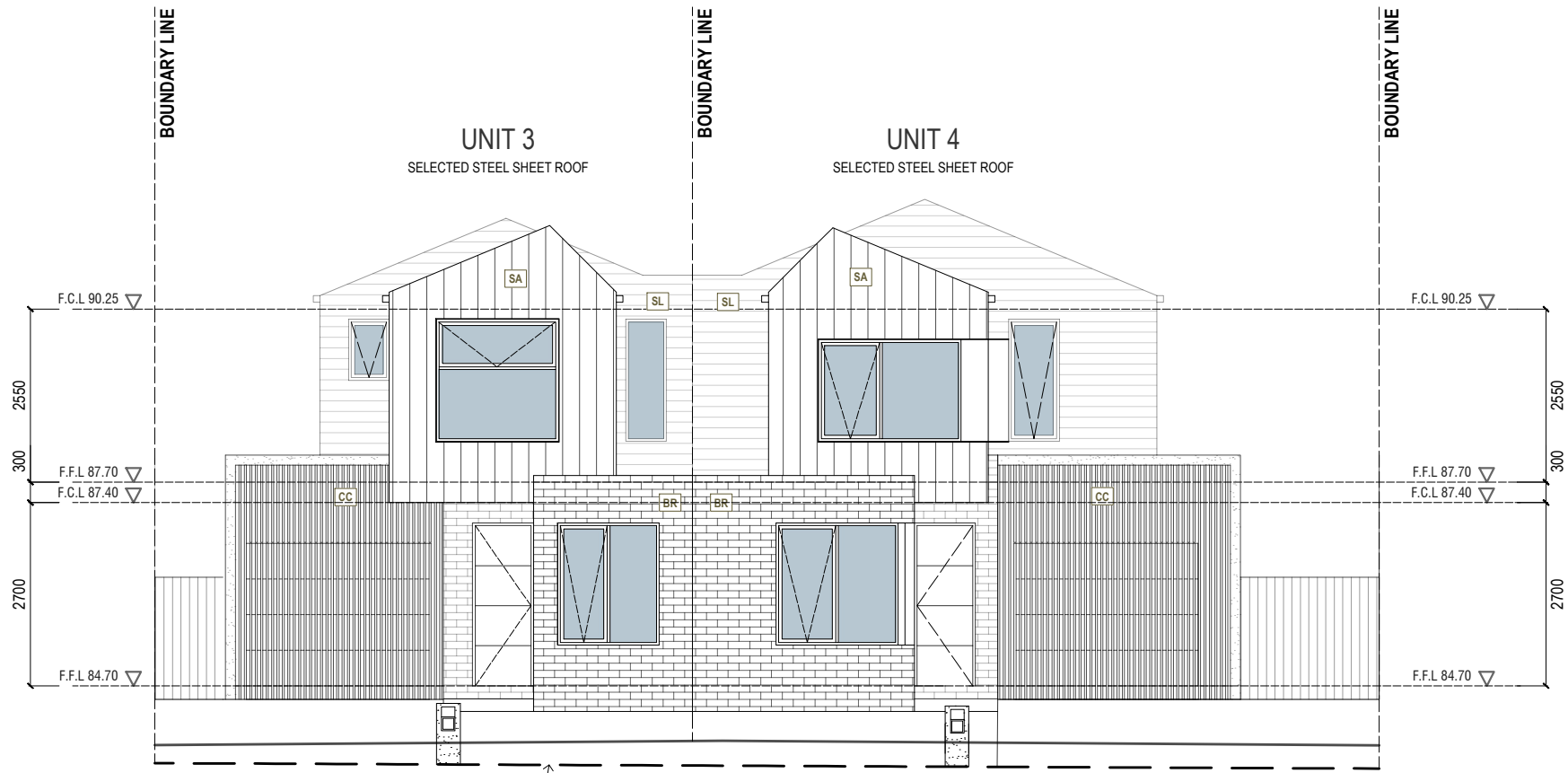
GROUND FLOOR PLAN _ unit 3 and 4
 SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development
 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

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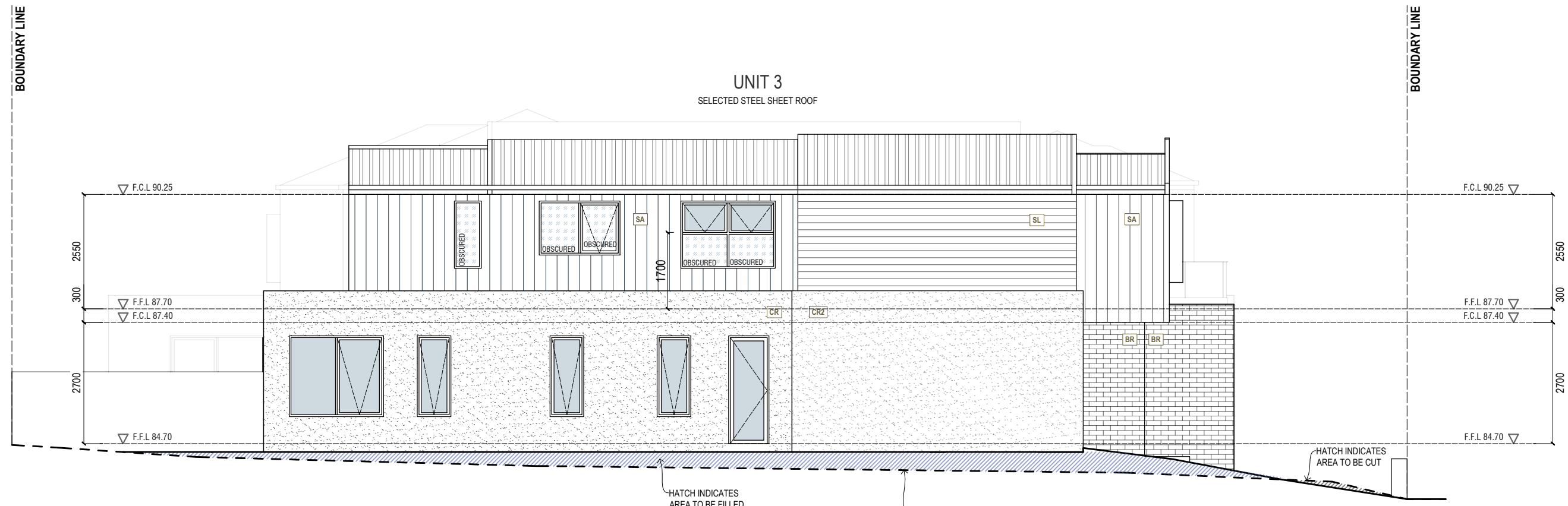
Drawn: ET Checked: ET
 Page: 15 of 43
 Scale: A3 (1:100) Date: 13/05/2024
 Job Number: ETJ_003_2021

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 Mob: 0415 585 604



	MATERIAL	NOTE
⊙ SL	HARDIE LINEA	WOODLAND GREY
⊙ SA	HARDIE AXON	SHALE GREY
⊙ CR	CEMENT RENDER	SHALE GREY
⊙ CR2	CEMENT RENDER 2	WOODLAND GREY
⊙ Br	SELECTED BRICKWORK	RED RECYCLED BRICK
⊙ CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN

B EAST ELEVATION



A. NORTH ELEVATION

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client:

Drawn: ET Checked:

Page: 16 of 43

Scale: A3 (1:100) Date: 13/05/2024

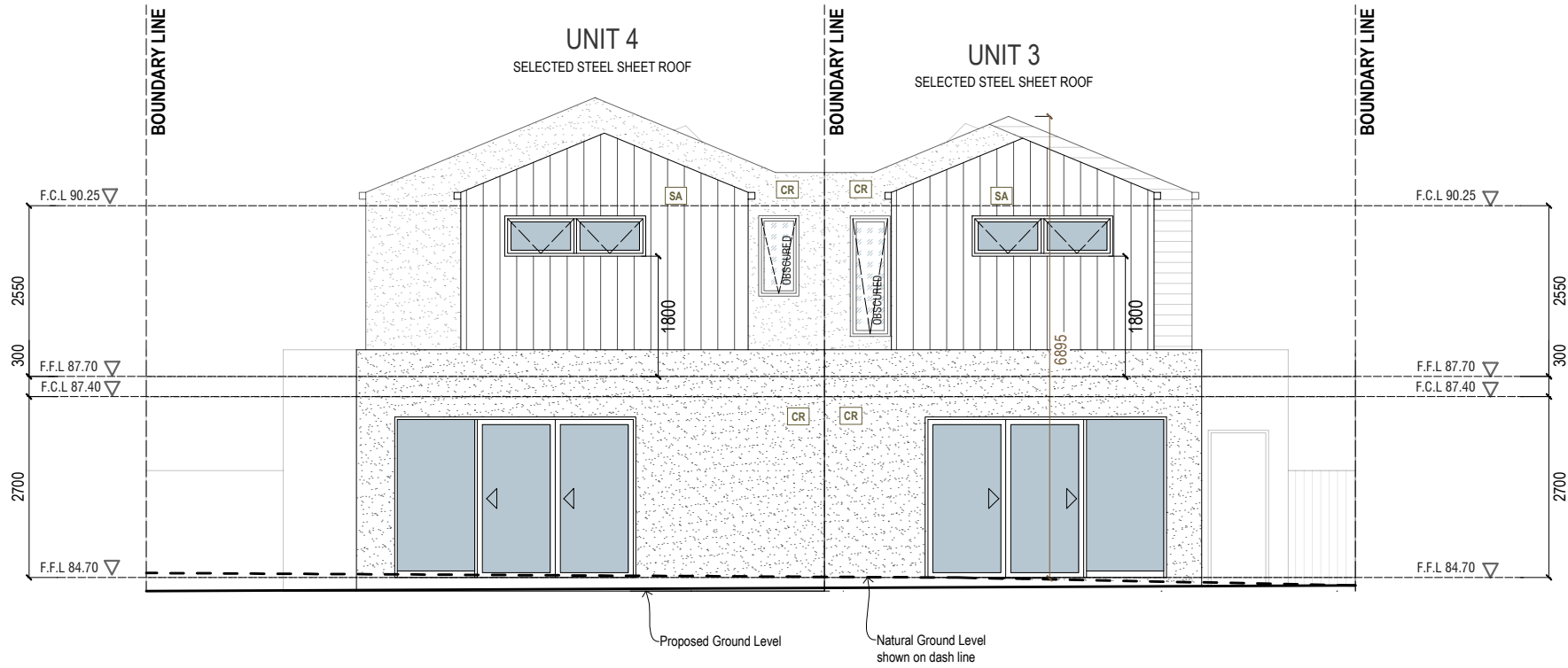
Job Number: ETJ_003_2021

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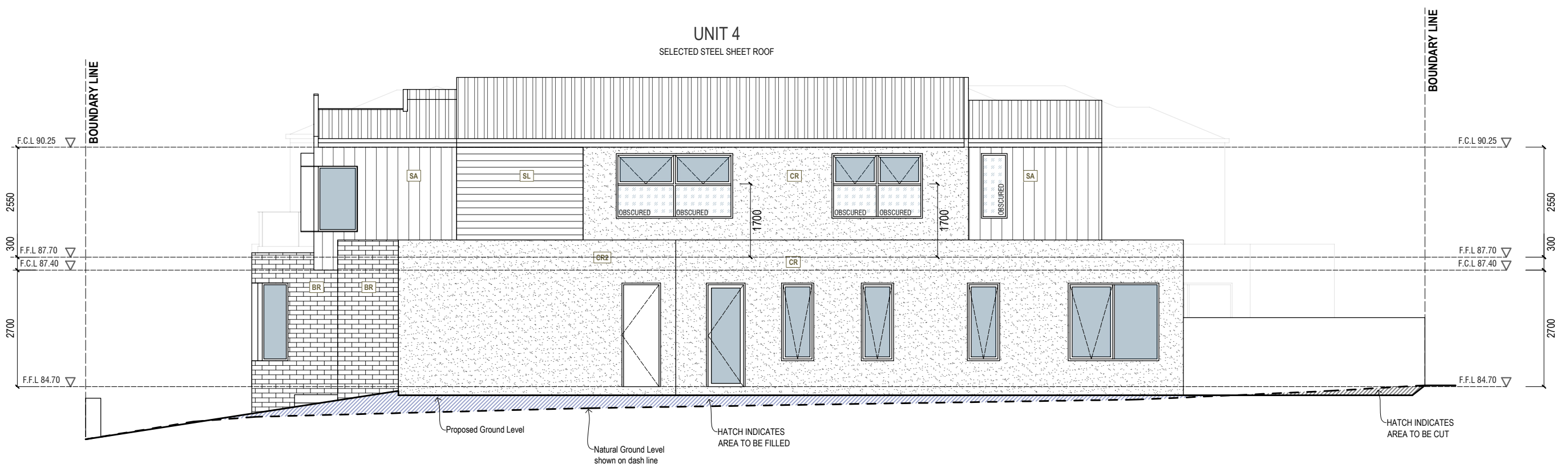
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	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN



A. NORTH ELEVATION

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive,
Burnside Heights VIC

Client:

Drawn: ET Checked:

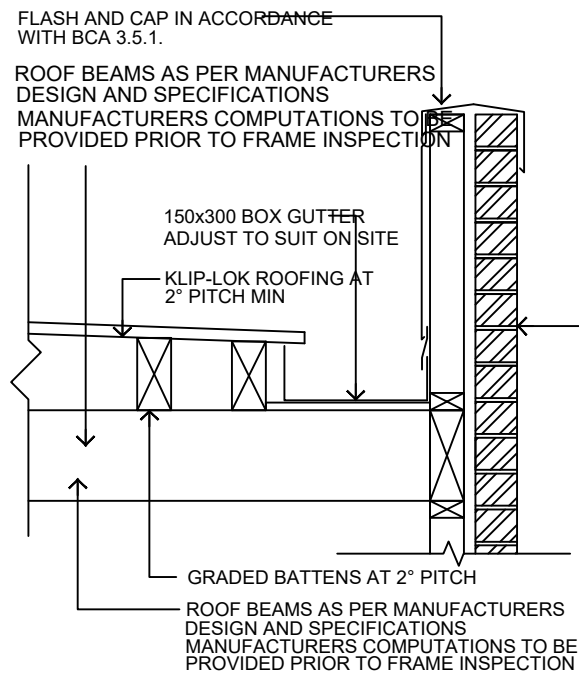
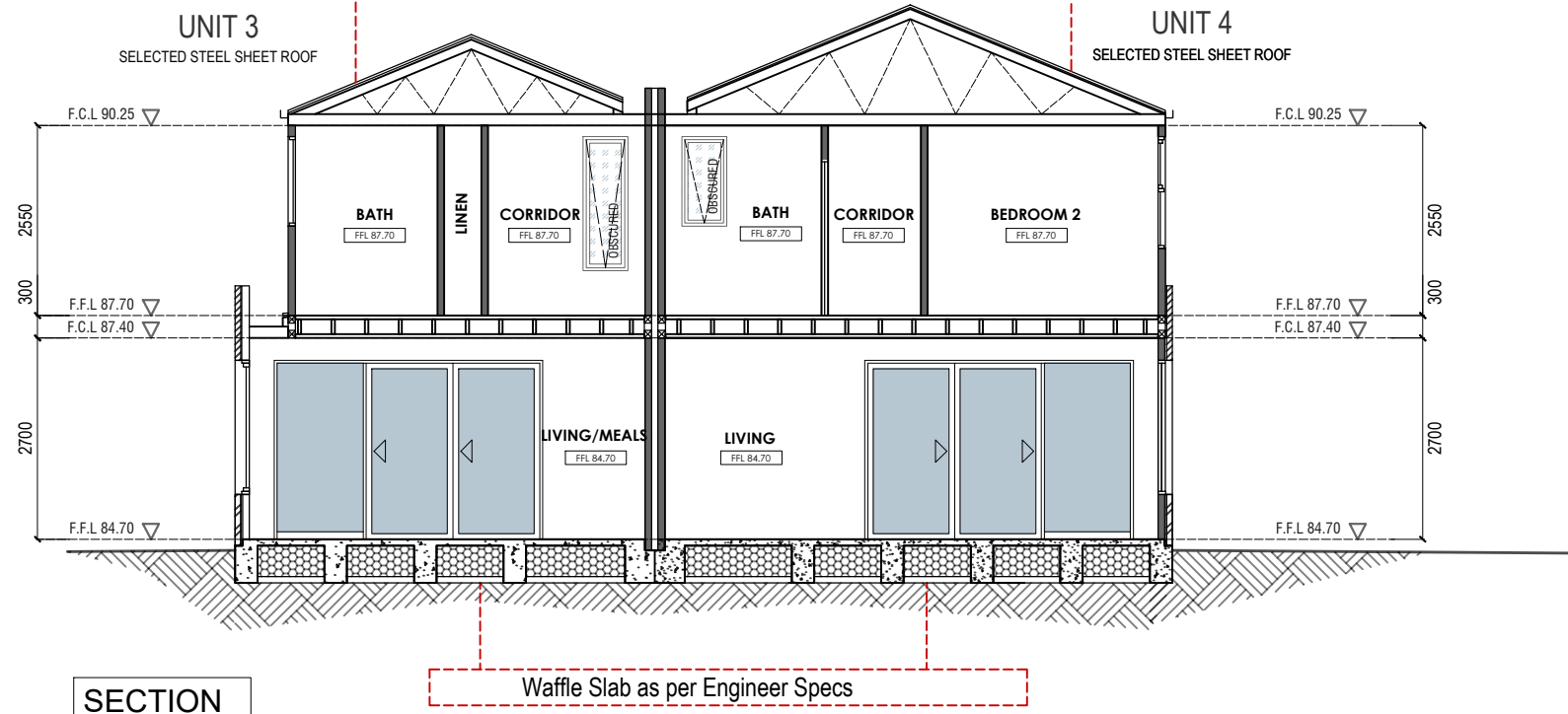
Page: 17 of 43

Scale: A3 (1:100) Date: 13/05/2024

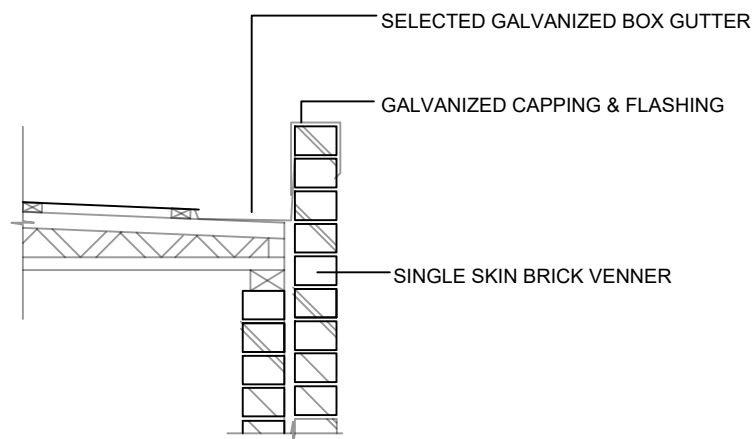
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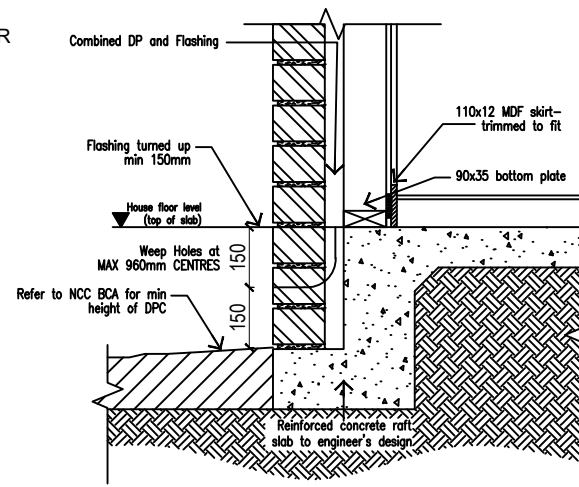
TRUSS ROOF MANUFACTURERS SPECIFICATIONS
 to be provided prior to the erection of loadbearing points i.e. Lintels, Studs supporting concentrated loads to be designed by concrete decking manufacturer and/or structural engineer. If structural design was provided than design engineer to verify the structural design and specification as required



TYPICAL BOX GUTTER DETAIL
 SCALE 1:20

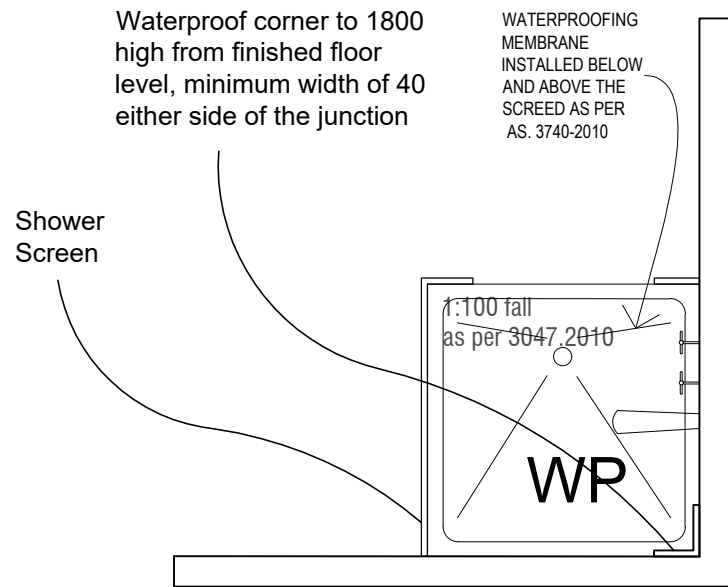


TYPICAL BOX GUTTER DETAIL
 1:20



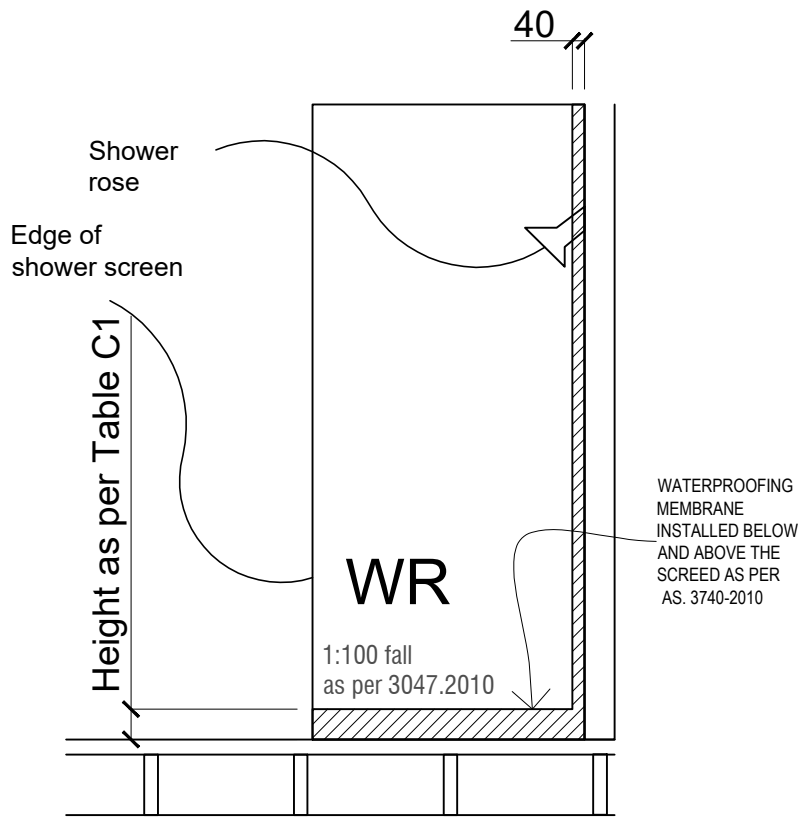
WEEP HOLE DETAIL

TIMBER SCHEDULE	
* FOR ALL TIMBER SIZES REFER TO TIMBER FRAMING MANUAL AS 1684	
WALLING:	
BOTTOM PLATES	90x45 MGP10 SINGLE STOREY / UPPER FLOOR
TOP PLATES	90x45 MGP10
BOTTOM PLATES	90x45 MGP12 GROUND FLOOR ON MULTI LEVEL
TOP PLATES	90x45 MGP12
RIBBON PLATES	2x90x35 MGP10 EXTERNAL LOAD BEARING WALLS ONLY
STUDS	90x45 MGP10 @ MAX. 600 ctrs.
JAMB STUDS	90x70 F5 OR 2/90x35
NOGGINGS	70x35 MERCH
PROVIDE METAL TENSION BRACING TO ALL WALLING USE STRUCTURAL MASONITE WHERE METAL BRACE NOT PRACTICAL.	
ROOFING:	
NOTE: CONCRETE DECKING ROOF TO MANUFACTURERS SPECIFICATIONS	
LINTELS:	
LINTELS AS PER A.S 1684.	
OPENINGS TO 600mm	90x35 F5
OPENINGS TO 1400mm	140x35 F7
OPENINGS TO 2100mm	190x35 F7
OPENINGS TO 2700mm	240x45 F17



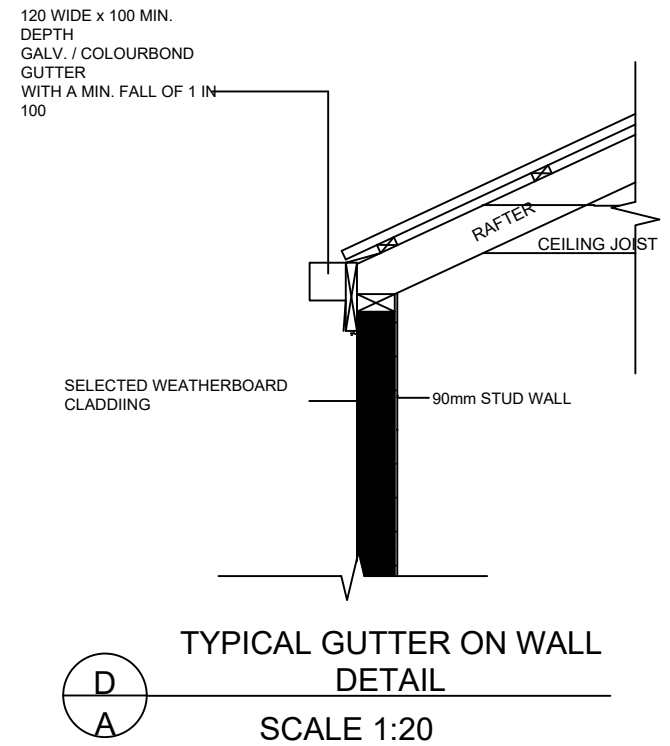
ENCLOSED SHOWER WATERPROOF PLAN

to comply with AS. 3740
SCALE 1:30 on A3



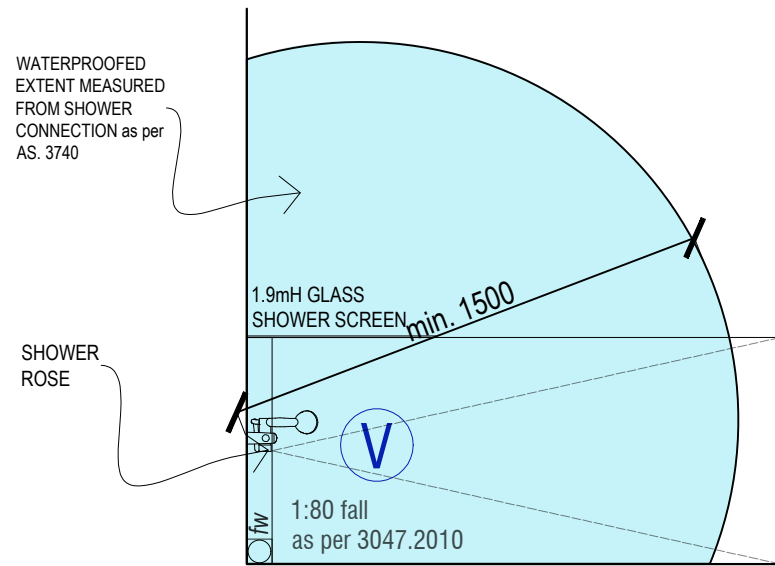
ENCLOSED SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3



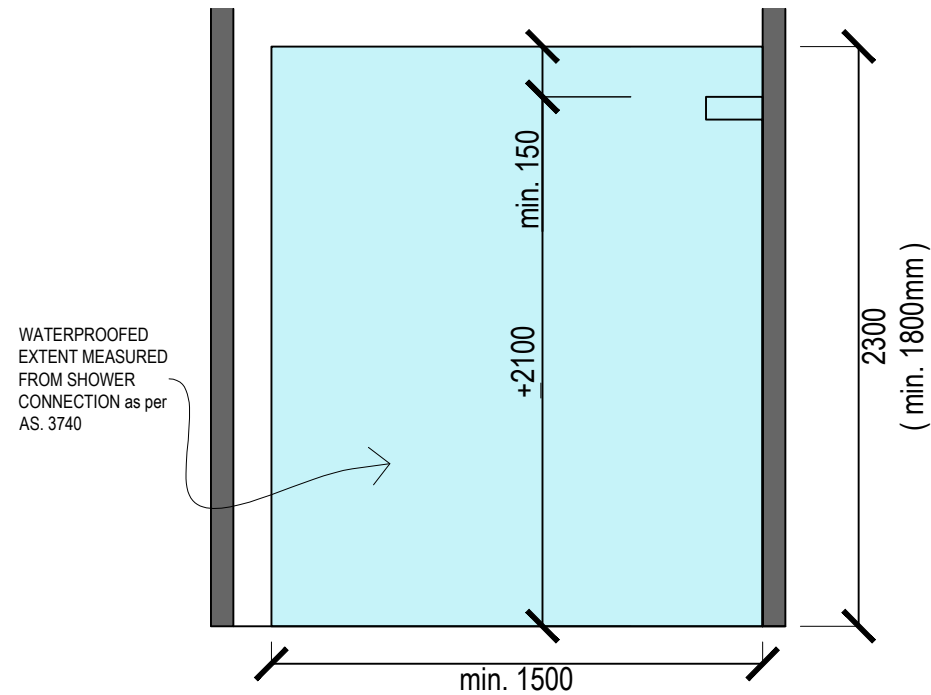
TYPICAL GUTTER ON WALL DETAIL

SCALE 1:20



SHOWER WATERPROOF PLAN

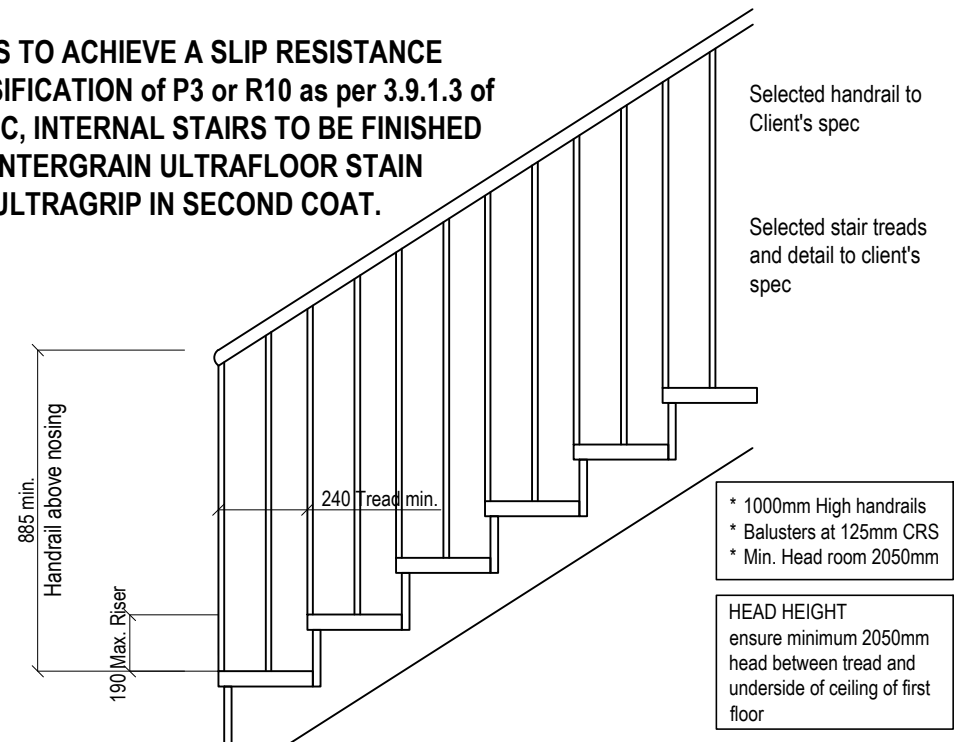
to comply with AS. 3740
SCALE 1:30 on A3



SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3

STAIRS TO ACHIEVE A SLIP RESISTANCE CLASSIFICATION of P3 or R10 as per 3.9.1.3 of the NCC, INTERNAL STAIRS TO BE FINISHED WITH INTERGRAIN ULTRAFLOOR STAIN WITH ULTRAGRIP IN SECOND COAT.

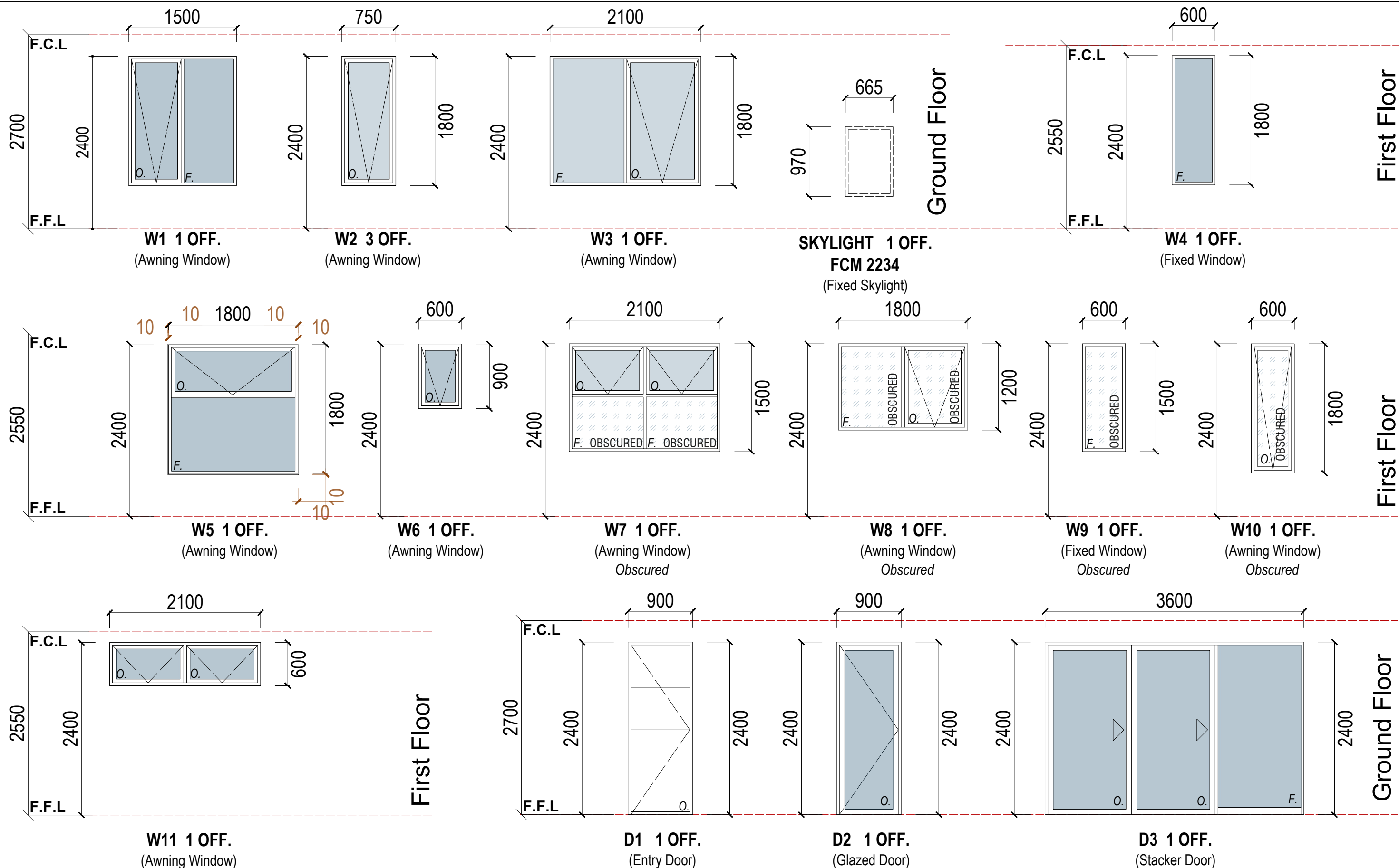


STAIR DETAIL (TYPICAL)

SCALE 1:20

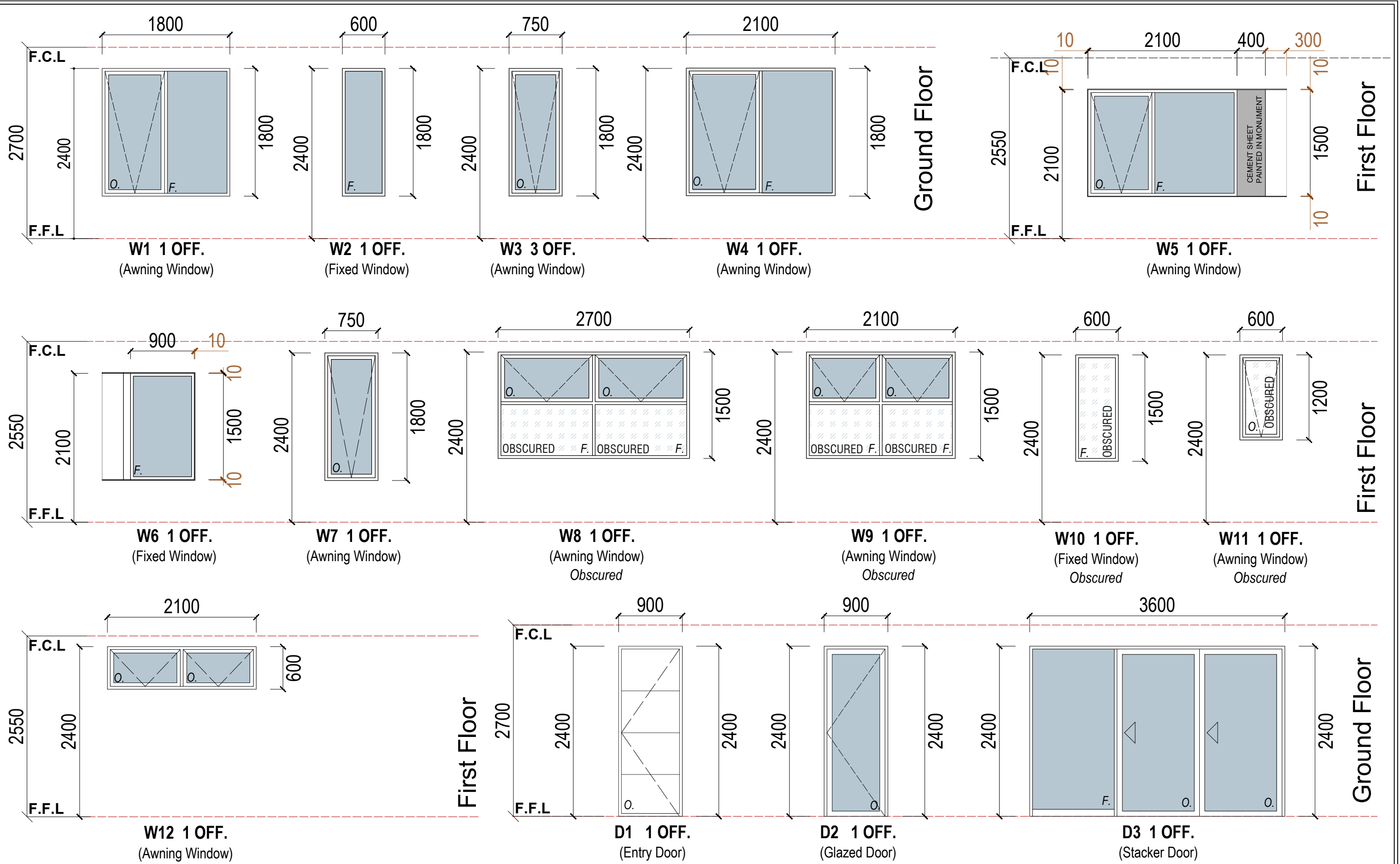
DETAILS

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 19 of 43 Scale: A3 (1:100) Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	Important Notes: These drawings must not be scaled. It is the holder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd.	Copyright on these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2Form Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All dimensions and door sizes to be verified on site prior to ordering.	



WINDOWS SCHEDULE _ UNIT 3
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 20 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville VIC 3013 Ph: 9687 2385 Mob: 0419 585 604
	<small> Important Notes: These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd. </small>	<small> Copyright on these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2Form Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All windows and door sizes to be verified on site prior to ordering. </small>	



WINDOWS SCHEDULE _ UNIT 4
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development		<small>Important Notes:</small> These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.	<small>Copyright on these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd.</small> Reproduction in part or in whole of these drawings and associated documentation without the permission of 2FORM Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All windows and door scales to be verified on site prior to ordering.
72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:		Drawn: ET Checked: ET Page: 21 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021



PROPOSED UNIT 3

LIVING AREA : 208.54 sqm

MAXIMUM ALLOWED WATT USAGE : 1042.7 WATT

INTERNAL LIGHTS : 49 of 9 Watt LED Downlights = 441 Watt

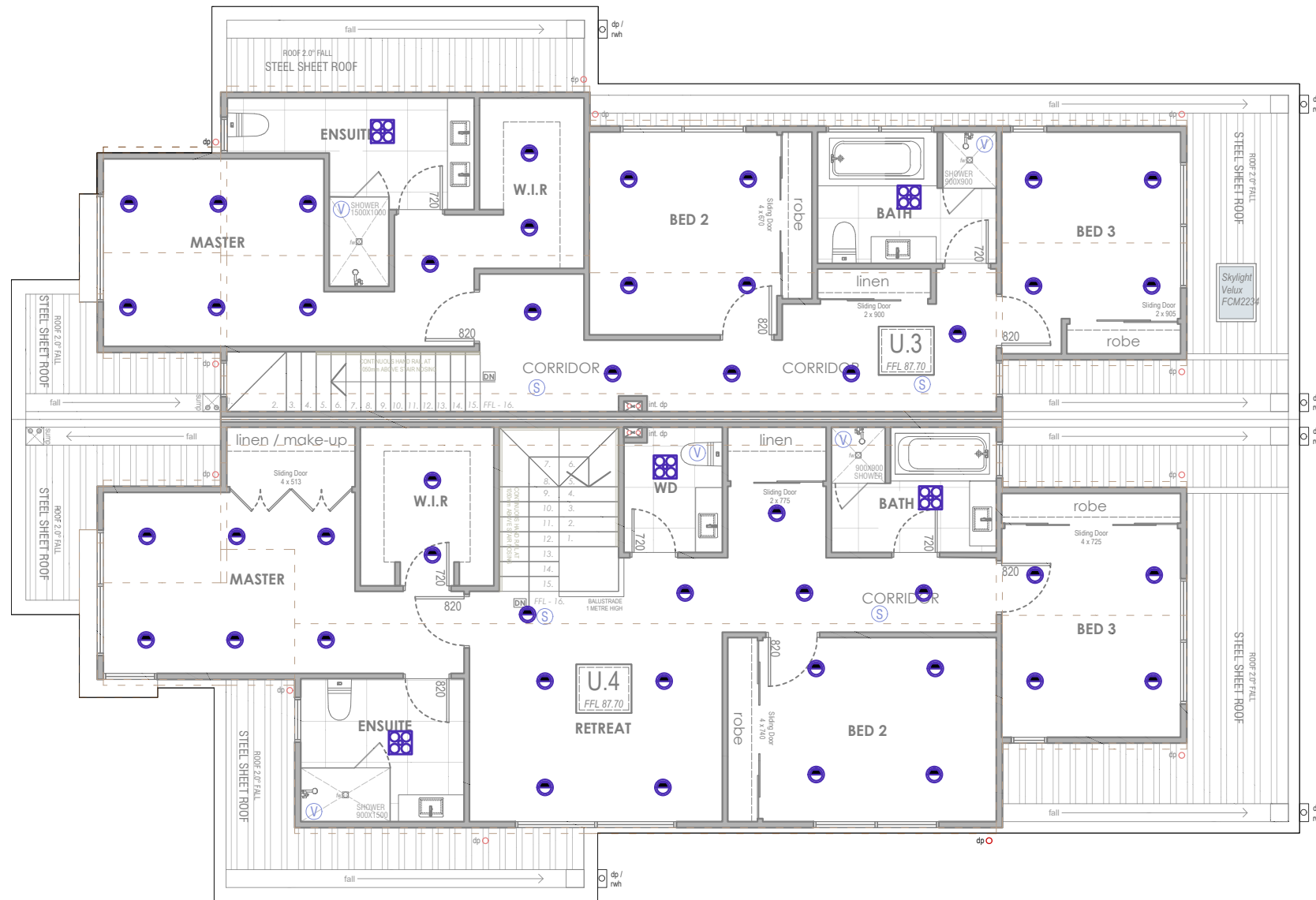
TOTAL WATT USAGE = 441 WATT

EXTERNAL AREA : 44.0 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



PROPOSED UNIT 4

LIVING AREA : 253.87 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 60 of 9 Watt LED Downlights = 540 Watt

TOTAL WATT USAGE = 540 WATT

EXTERNAL AREA : 47.96 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS :

TOTAL WATT USAGE = 27 WATT

ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
(RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	



ARTIFICIAL LIGHTING FIRST FLOOR PLAN
_ unit 3 and 4

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client: _____

Drawn: ET Checked: _____

Page: 23 of 43

Scale A3 (1:100) Date: 13/05/2024

Job Number: ETJ_003_2021

2FORM CONSULTING

PO Box 430
Yarraville vic. 3013
Ph: 9607 2385
Mob: 0419 585 604

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NOTE:

- (V) PROVIDE MECHANICAL VENTILATION WITH DAMPER OR FLAP, DUCTED TO THE OUTSIDE AIR
MECHANICAL EXHAUST FAN IS TO PROVIDE MINIMUM AIR FLOW DUCTED TO OUTTER AIR AS BELOW :
- 25L/s FOR BATHROOMS and SANITARY,
- 40L/s FOR KITCHEN and LAUNDRY

AS PER CLAUSE 3.8.7.3 of NCC 2019, EXHAUST FROM BATHROOM, SANITARY COMPARTMENT, or LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT or DUCT TO OUTDOOR AIR or TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4 of NCC 2019

- (S) PROVIDE SMOKE ALARMS HARDWIRED AND ARE TO COMPLY AS. 3786-1993, 1.4-2004, AND AS. 3786-2014 & RELEVANT NCC BCA

ALL SMOKE DETECTORS TO BE INTERCONNECTED

NOTE :

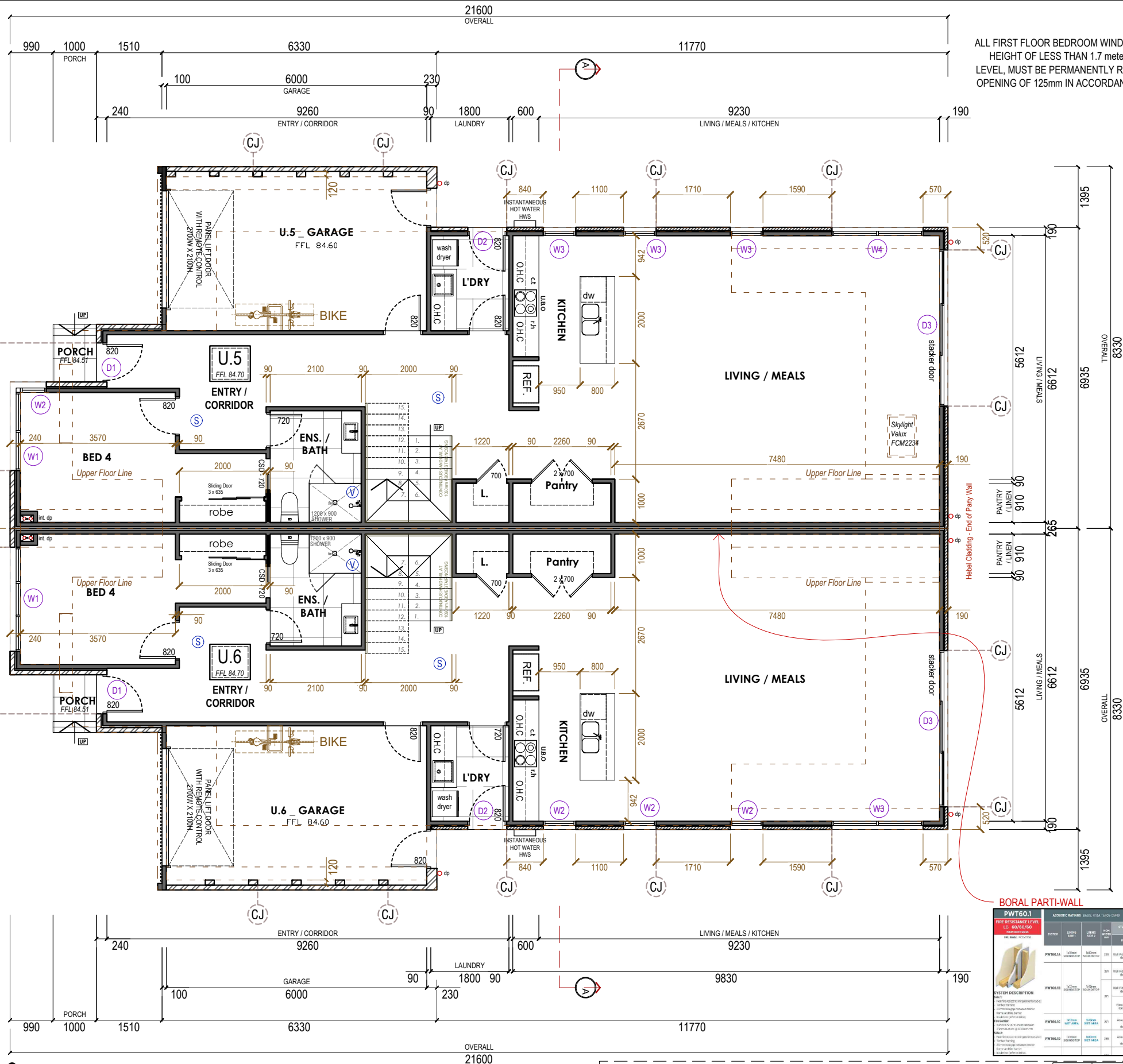
WEEP-HOLES TO BE PROVIDED IN ACCORDANCE WITH SECTION 4.7.2 OF AS 3700

ALL LAND ADJACENT TO PERIMETER FOOTING MUST BE GRADED AWAY AT 1:50 OVER 1m AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

ALL SANITARY COMPARTMENTS TO HAVE OUTWARDS OPENING DOORS OR REMOVABLE HINGES FROM OUTSIDE.

ALL EXTERNAL EXITS ABOVE 190mm FROM GROUND LEVEL TO HAVE CONCRETE STEPS WITH 190mm MAX. RISERS AND 250mm MIN. TREADS.

ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.



NOTE :
ALL FIRST FLOOR BEDROOM WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7 meters ABOVE FINISHED FLOOR LEVEL, MUST BE PERMANENTLY RESTRICTED TO A MAXIMUM OPENING OF 125mm IN ACCORDANCE WITH CLAUSE 3.9.2.6 of the NCC 2019 VOL. 2

NOTE :

RAINWATER HEADS WITH OVERFLOWS ARE TO BE INSTALLED TO THE DOWNSTREAM OF ALL BOX GUTTERS IN ACCORDANCE WITH AS3500.3-2003

ALL PLIABLE BUILDING MEMBRANE MUST COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 and MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT.

(CJ) Construction Joint

BUILDING AREA

BUILDING AREA UNIT 3		BUILDING AREA UNIT 4	
GROUND FLOOR	97.22 sqm / 10.47 sq	GROUND FLOOR	123.07 sqm / 13.25 sq
GARAGE	23.0 sqm / 2.48 sq	GARAGE	23.00 sqm / 2.48 sq
FIRST FLOOR	87.0 sqm / 9.36 sq	FIRST FLOOR	106.58 sqm / 11.47 sq
PORCH	1.32 sqm / 0.14 sq	PORCH	1.12 sqm / 0.13 sq
TOTAL	208.54 sqm / 22.45 sq	TOTAL	253.87 sqm / 27.33 sq

BORAL PARTI-WALL

PARTI-WALL	FLOOR	LEVEL	FIRE RESISTANCE LEVEL		FLOOR		WALL		ROOF	
			MIN	MAX	MIN	MAX	MIN	MAX	MIN	MAX
PWT01	1st	0.00	120	120	120	120	120	120	120	120
PWT02	1st	0.00	120	120	120	120	120	120	120	120
PWT03	1st	0.00	120	120	120	120	120	120	120	120
PWT04	1st	0.00	120	120	120	120	120	120	120	120
PWT05	1st	0.00	120	120	120	120	120	120	120	120
PWT06	1st	0.00	120	120	120	120	120	120	120	120
PWT07	1st	0.00	120	120	120	120	120	120	120	120
PWT08	1st	0.00	120	120	120	120	120	120	120	120
PWT09	1st	0.00	120	120	120	120	120	120	120	120
PWT10	1st	0.00	120	120	120	120	120	120	120	120



GROUND FLOOR PLAN _ unit 5 and 6

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

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Drawn: ET Checked: ET
Page: 24 of 43
Scale: A3 (1:100) Date: 13/05/2024
Job Number: ETJ_003_2021

2FORM
PO Box 430
Yarraville vic. 3013
Ph: 9607 2385
Mob: 0419 585 604

NOTE:

- (V) PROVIDE MECHANICAL VENTILATION WITH DAMPER OR FLAP, DUCTED TO THE OUTSIDE AIR

MECHANICAL EXHAUST FAN IS TO PROVIDE MINIMUM AIR FLOW DUCTED TO OUTTER AIR AS BELOW :

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- 40L/s FOR KITCHEN and LAUNDRY

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- (S) PROVIDE SMOKE ALARMS HARDWIRED AND ARE TO COMPLY AS. 3786-1993, 1.4-2004, AND AS. 3786-2014 & RELEVANT NCC BCA

ALL SMOKE DETECTORS TO BE INTERCONNECTED

NOTE :

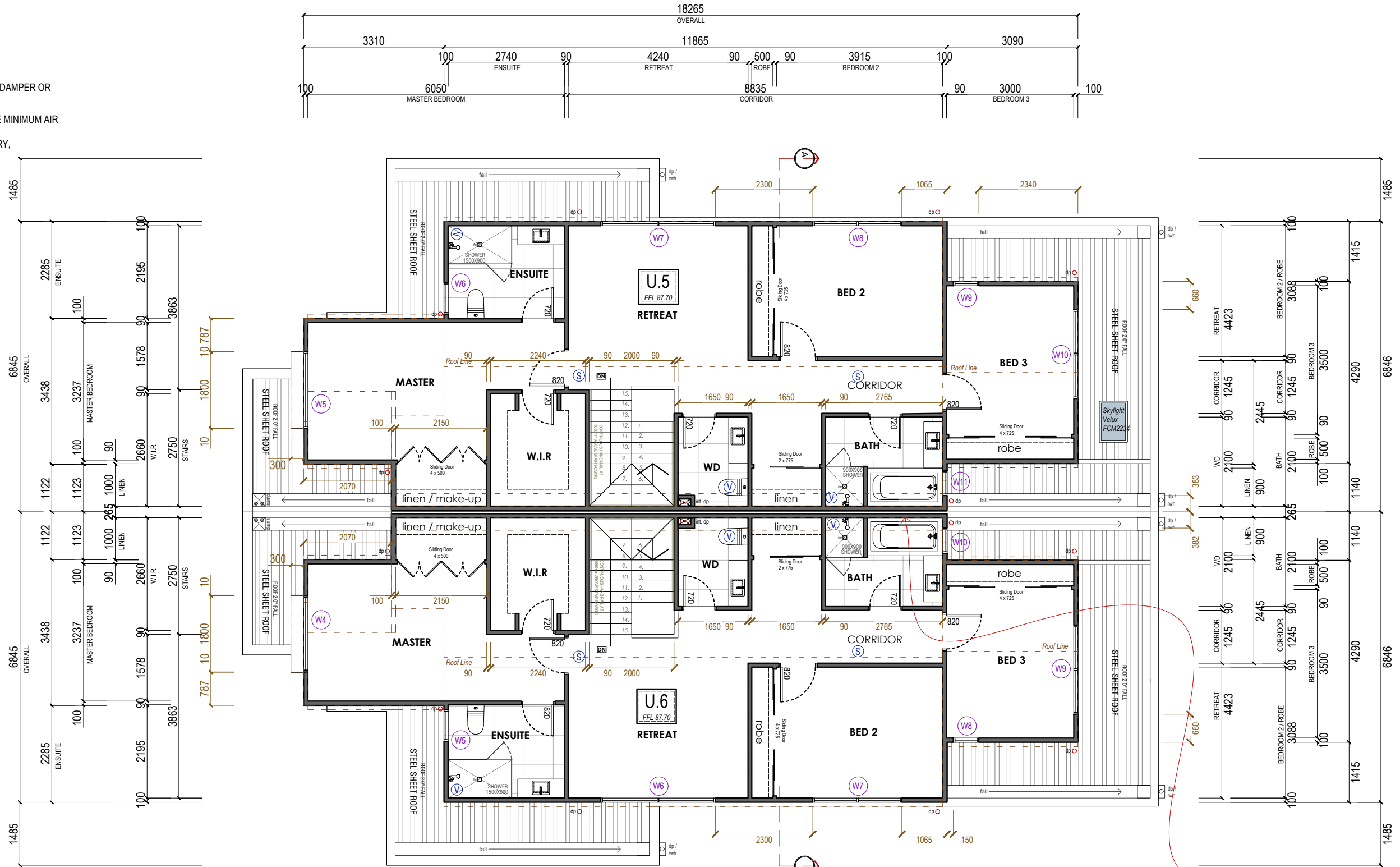
WEEP-HOLES TO BE PROVIDED IN ACCORDANCE WITH SECTION 4.7.2 OF AS 3700

ALL LAND ADJACENT TO PERIMETER FOOTING MUST BE GRADED AWAY at 1:50 OVER 1m AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

ALL SANITARY COMPARTMENTS TO HAVE OUTWARDS OPENING DOORS OR REMOVABLE HINGES FROM OUTSIDE.

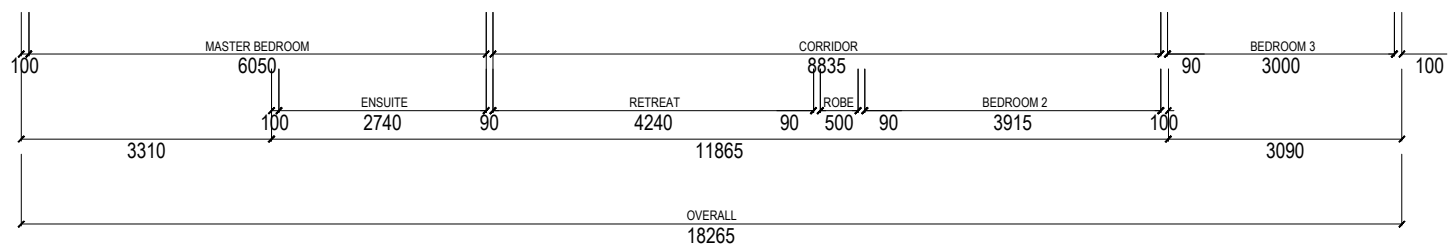
ALL EXTERNAL EXITS ABOVE 190mm FROM GROUND LEVEL TO HAVE CONCRETE STEPS WITH 190mm MAX. RISERS AND 250mm MIN. TREADS.

ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.



BUILDING AREA

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PORCH	1.32 sqm / 0.14 sq	PORCH	1.12 sqm / 0.13 sq
TOTAL	208.54 sqm / 22.45 sq	TOTAL	253.87 sqm / 27.33 sq



FIRST FLOOR PLAN _ unit 5 and 6

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development
 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client: _____
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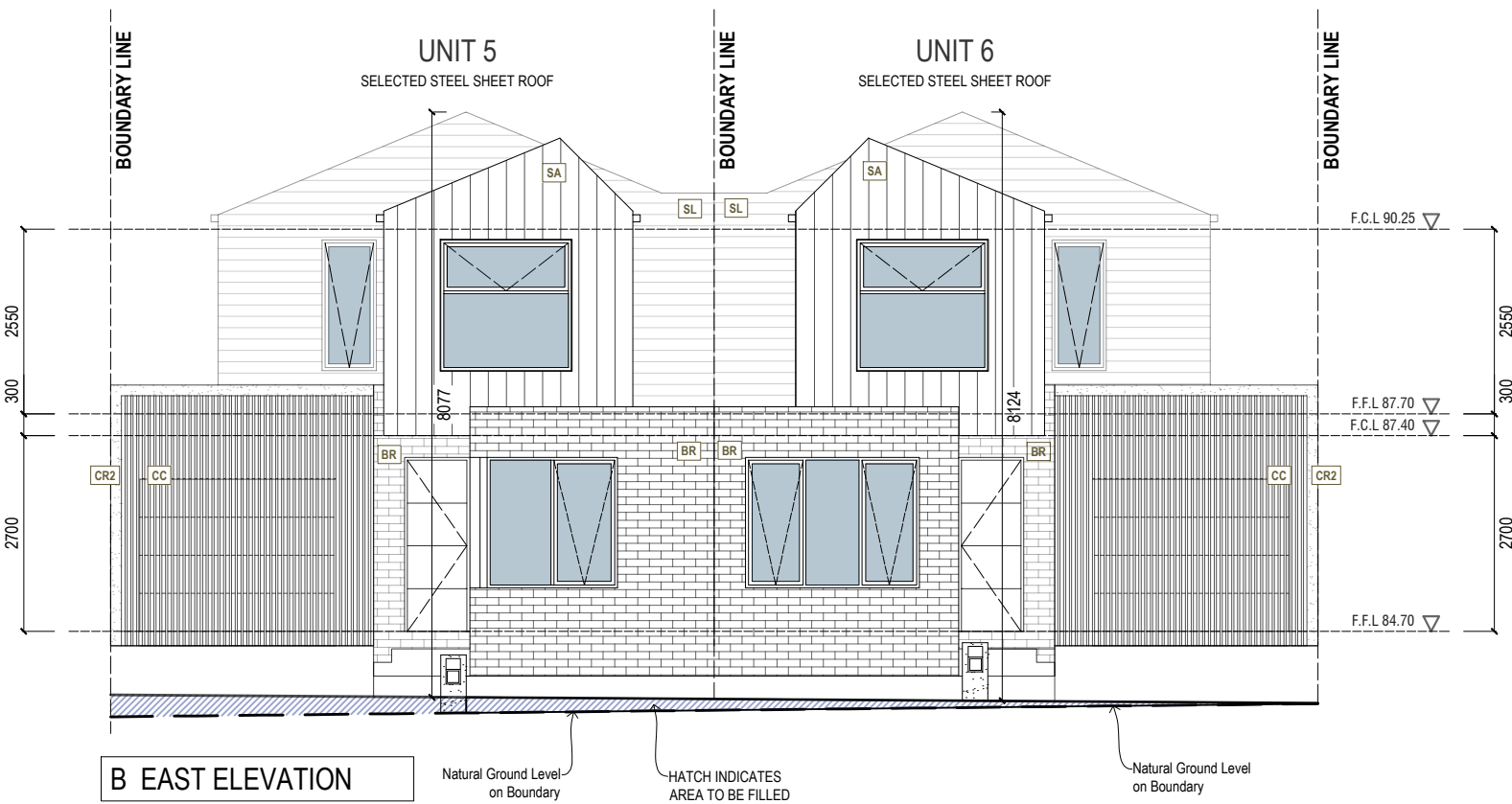
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Drawn: ET Checked: _____
 Page: 25 of 43
 Scale: A3 (1:100) Date: 13/05/2024
 Job Number: ETJ_003_2021

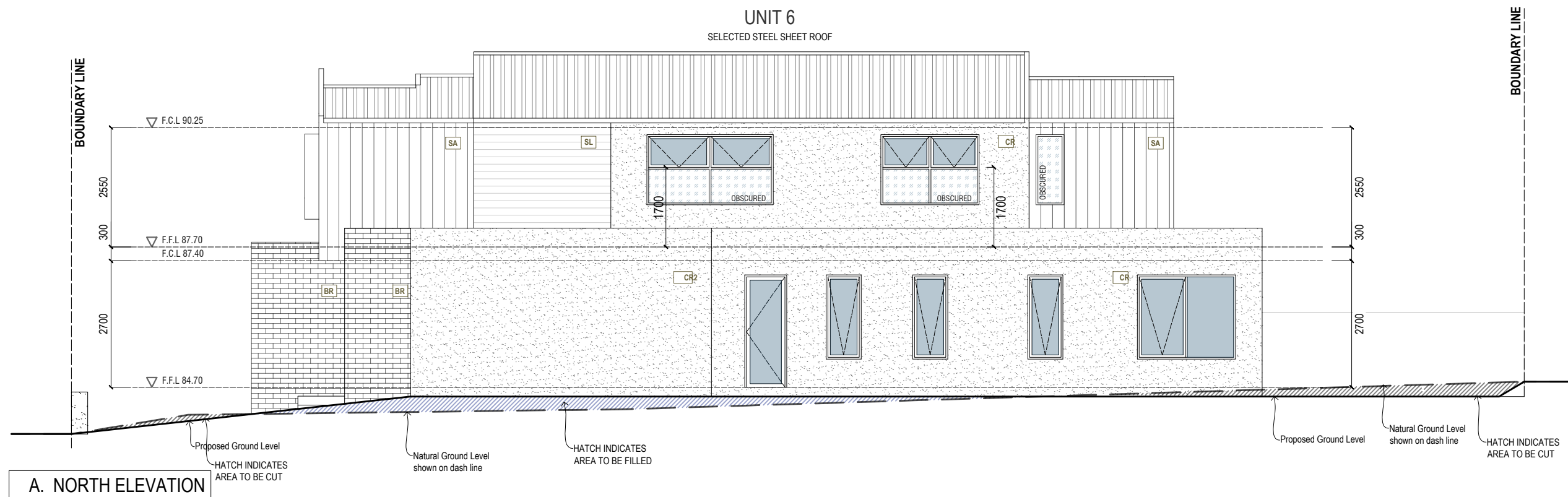


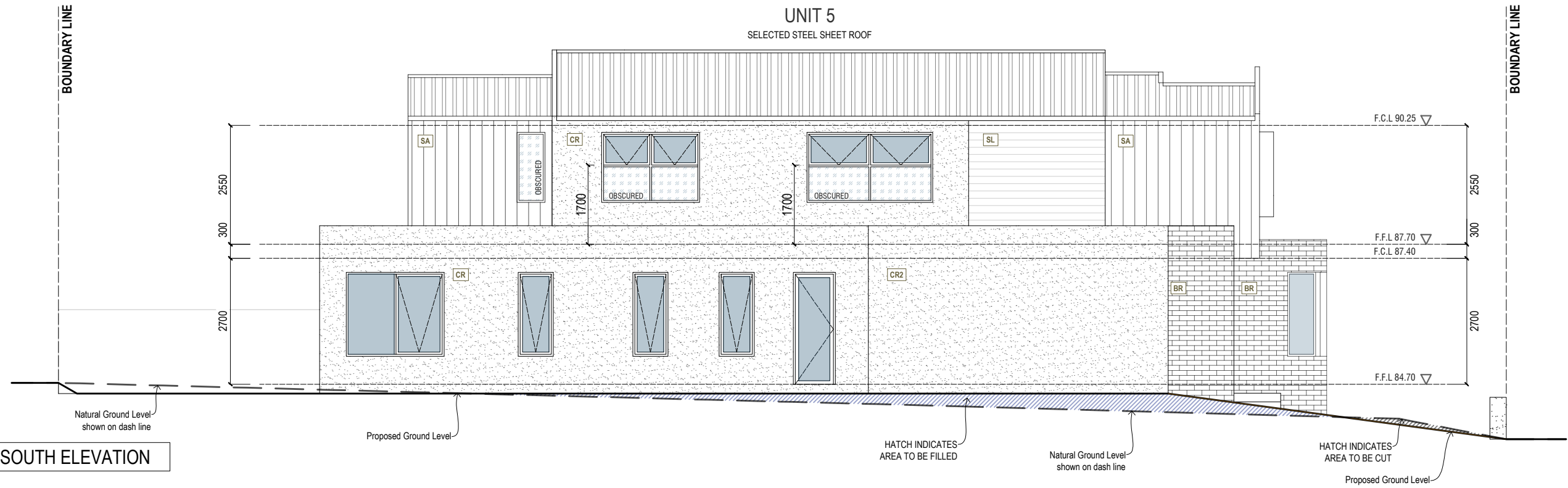
BORAL PARTI-WALL

PARTI-WALL	FLOOR	LEVEL	THICKNESS	REINFORCEMENT	WIND RESISTANCE LEVEL		WIND SPEED		WIND PRESSURE	
					U5	U6	U5	U6	U5	U6
PWT01.0	1st	0.000	100	100	NA	NA	NA	NA	NA	NA
PWT01.1	1st	0.000	100	100	NA	NA	NA	NA	NA	NA
PWT01.2	1st	0.000	100	100	NA	NA	NA	NA	NA	NA
PWT01.3	1st	0.000	100	100	NA	NA	NA	NA	NA	NA
PWT01.4	1st	0.000	100	100	NA	NA	NA	NA	NA	NA
PWT01.5	1st	0.000	100	100	NA	NA	NA	NA	NA	NA

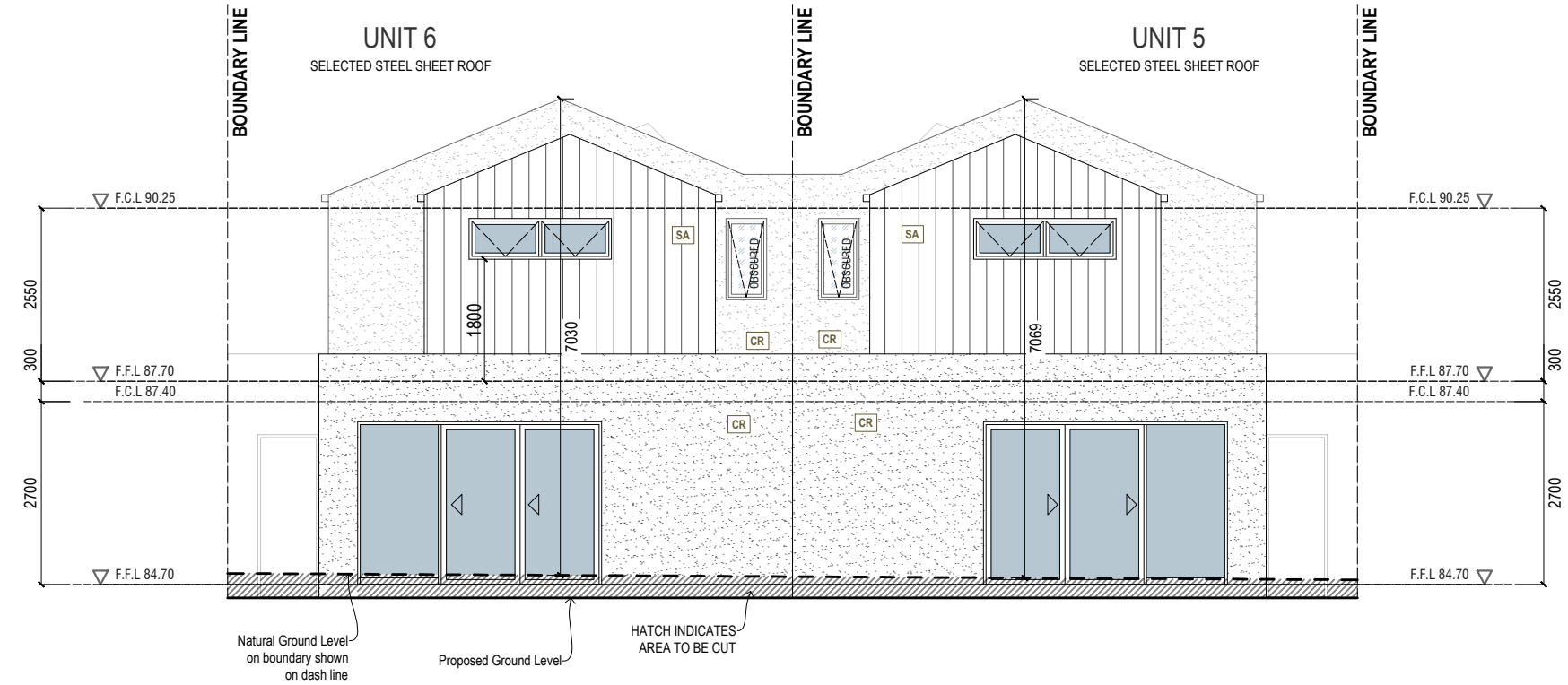


	MATERIAL	NOTE
SL	HARDIE LINEA	WOODLAND GREY
SA	HARDIE AXON	SHALE GREY
CR	CEMENT RENDER	SHALE GREY
CR2	CEMENT RENDER 2	WOODLAND GREY
Br	SELECTED BRICKWORK	RED RECYCLED BRICK
CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN



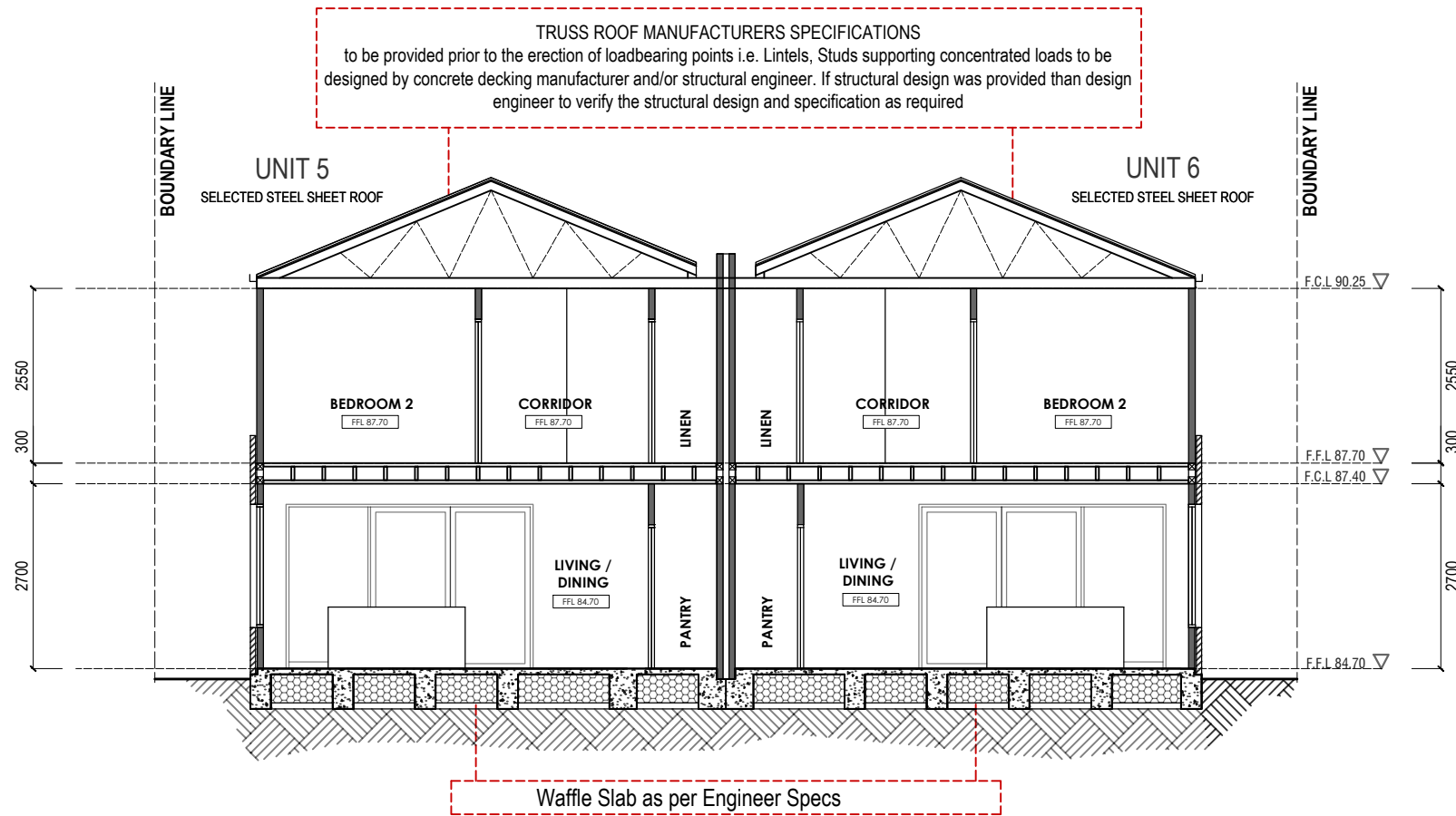


C. SOUTH ELEVATION

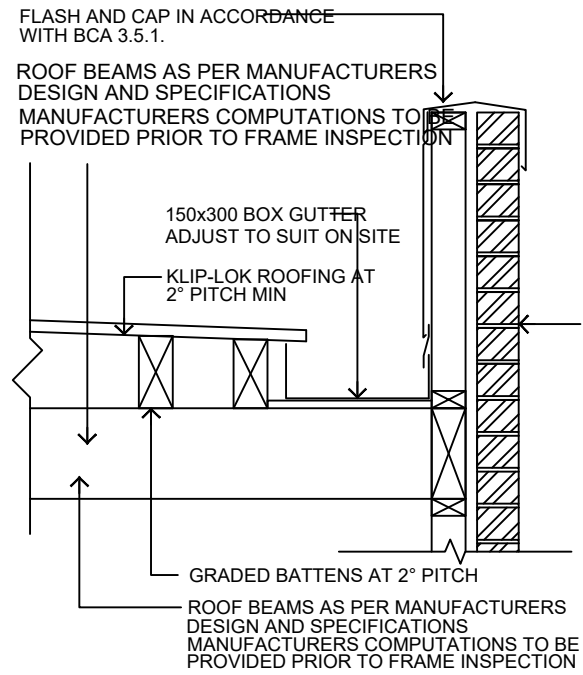


D. WEST ELEVATION

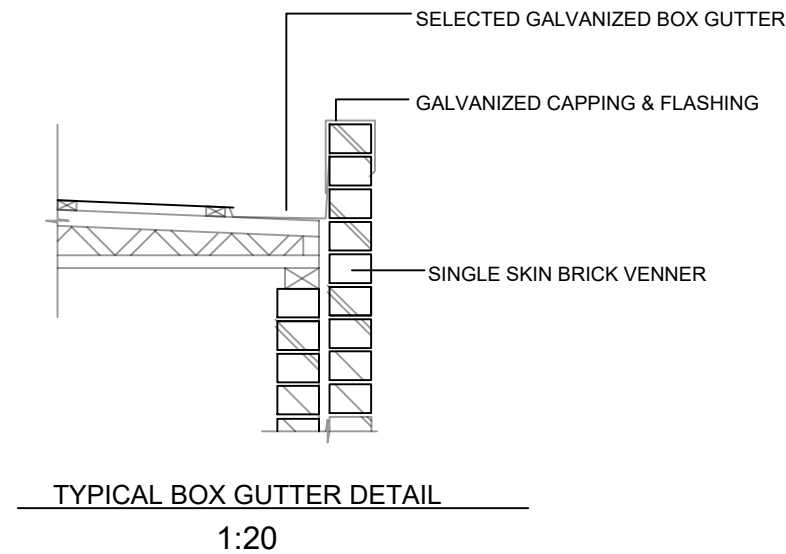
	MATERIAL	NOTE
⊙ SL	HARDIE LINEA	WOODLAND GREY
⊙ SA	HARDIE AXON	SHALE GREY
⊙ CR	CEMENT RENDER	SHALE GREY
⊙ CR2	CEMENT RENDER 2	WOODLAND GREY
⊙ BR	SELECTED BRICKWORK	RED RECYCLED BRICK
⊙ CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN



SECTION

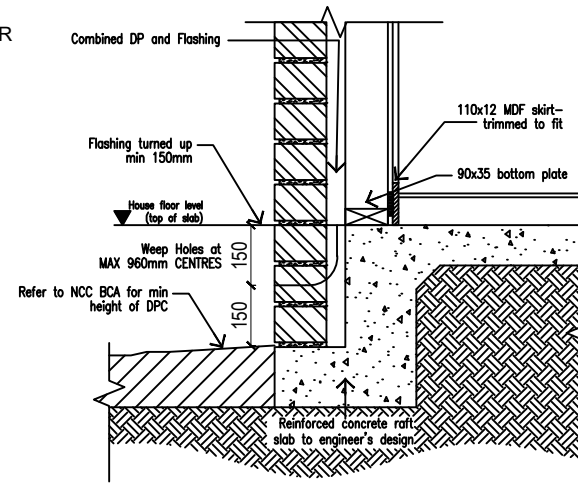


TYPICAL BOX GUTTER DETAIL
SCALE 1:20



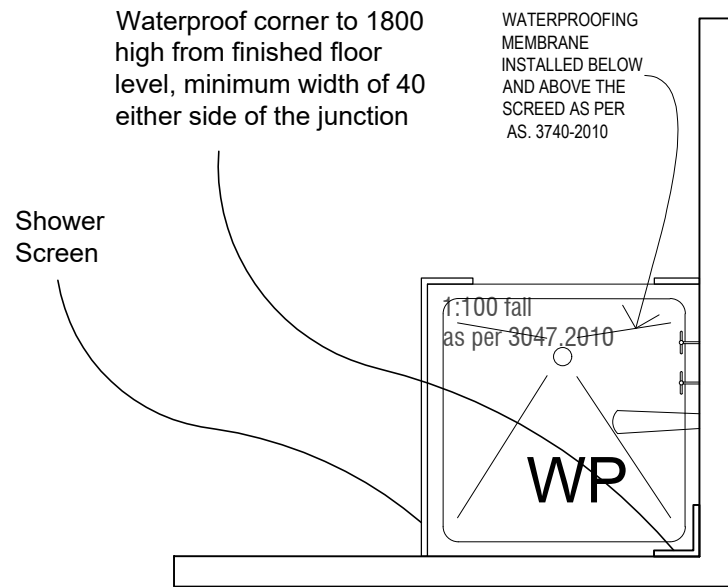
TYPICAL BOX GUTTER DETAIL

1:20



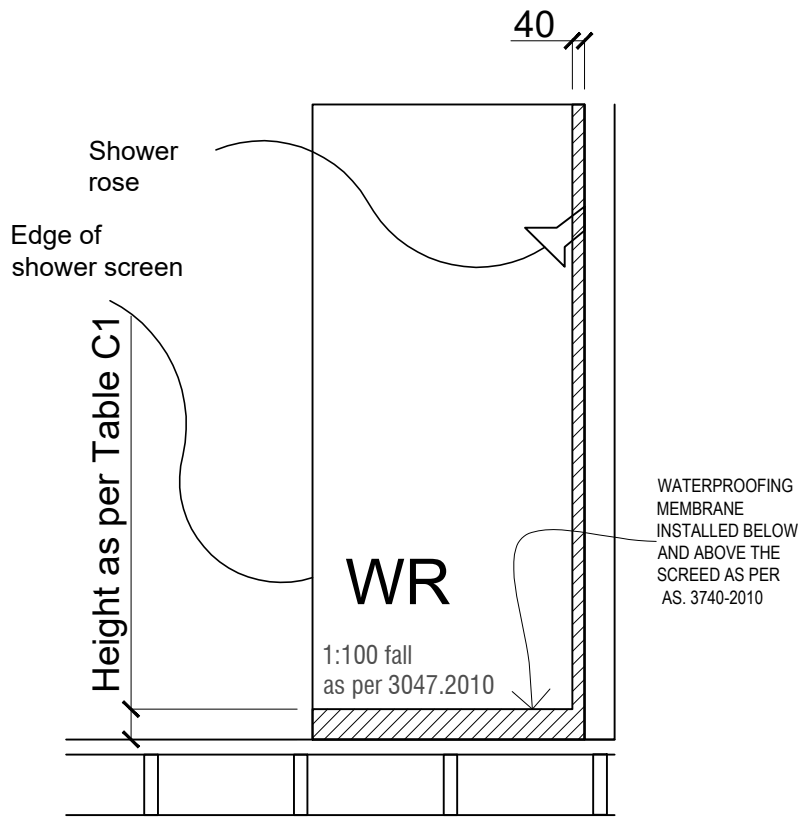
WEEP HOLE DETAIL

TIMBER SCHEDULE	
* FOR ALL TIMBER SIZES REFER TO TIMBER FRAMING MANUAL AS 1684	
WALLING:	
BOTTOM PLATES	90x45 MGP10 SINGLE STOREY / UPPER FLOOR
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RIBBON PLATES	2x90x35 MGP10 EXTERNAL LOAD BEARING WALLS ONLY
STUDS	90x45 MGP10 @ MAX. 600 ctrs.
JAMB STUDS	90x70 F5 OR 2/90x35
NOGGINGS	70x35 MERCH
PROVIDE METAL TENSION BRACING TO ALL WALLING USE STRUCTURAL MASONITE WHERE METAL BRACE NOT PRACTICAL.	
ROOFING:	
NOTE: CONCRETE DECKING ROOF TO MANUFACTURERS SPECIFICATIONS	
LINTELS:	
LINTELS AS PER AS 1684.	
OPENINGS TO 600mm	90x35 F5
OPENINGS TO 1400mm	140x35 F7
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OPENINGS TO 2700mm	240x45 F17



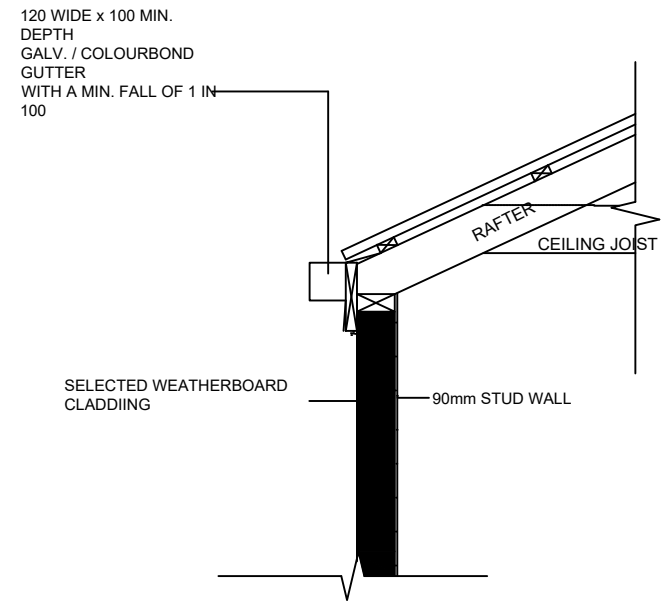
ENCLOSED SHOWER WATERPROOF PLAN

to comply with AS. 3740
SCALE 1:30 on A3



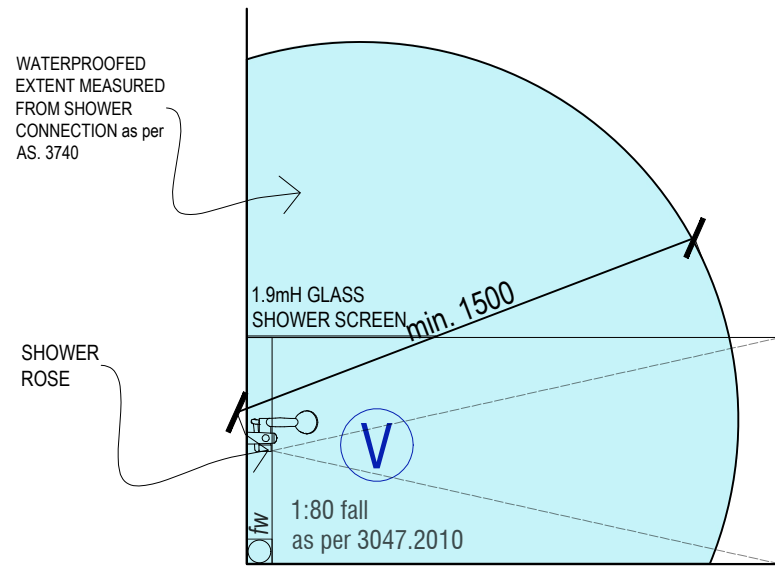
ENCLOSED SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3



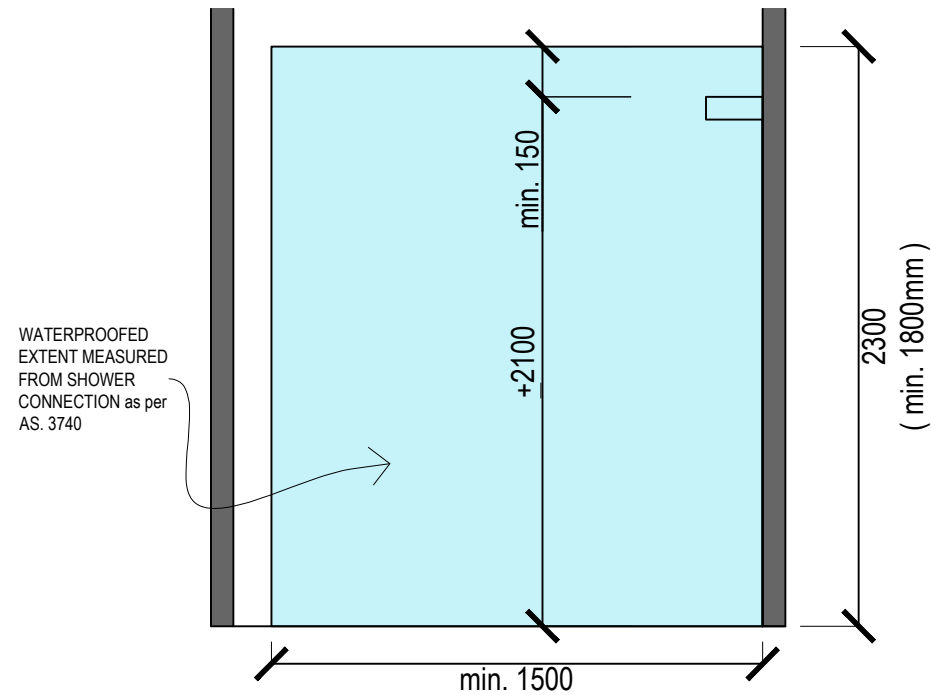
TYPICAL GUTTER ON WALL DETAIL

SCALE 1:20



SHOWER WATERPROOF PLAN

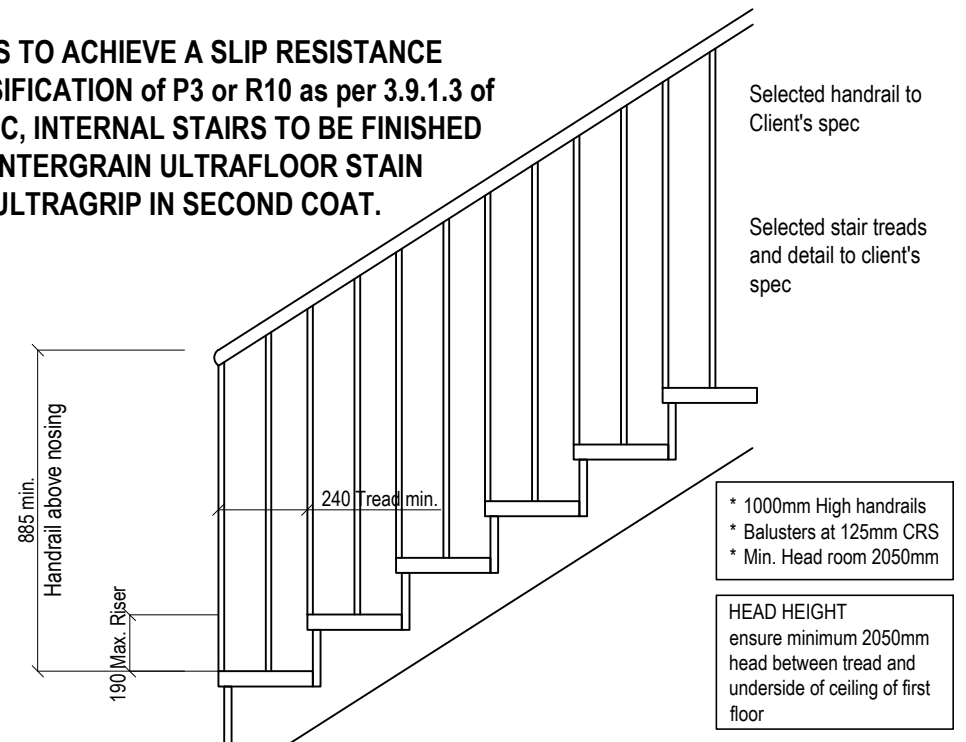
to comply with AS. 3740
SCALE 1:30 on A3



SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3

STAIRS TO ACHIEVE A SLIP RESISTANCE CLASSIFICATION of P3 or R10 as per 3.9.1.3 of the NCC, INTERNAL STAIRS TO BE FINISHED WITH INTERGRAIN ULTRAFLOOR STAIN WITH ULTRAGRIP IN SECOND COAT.

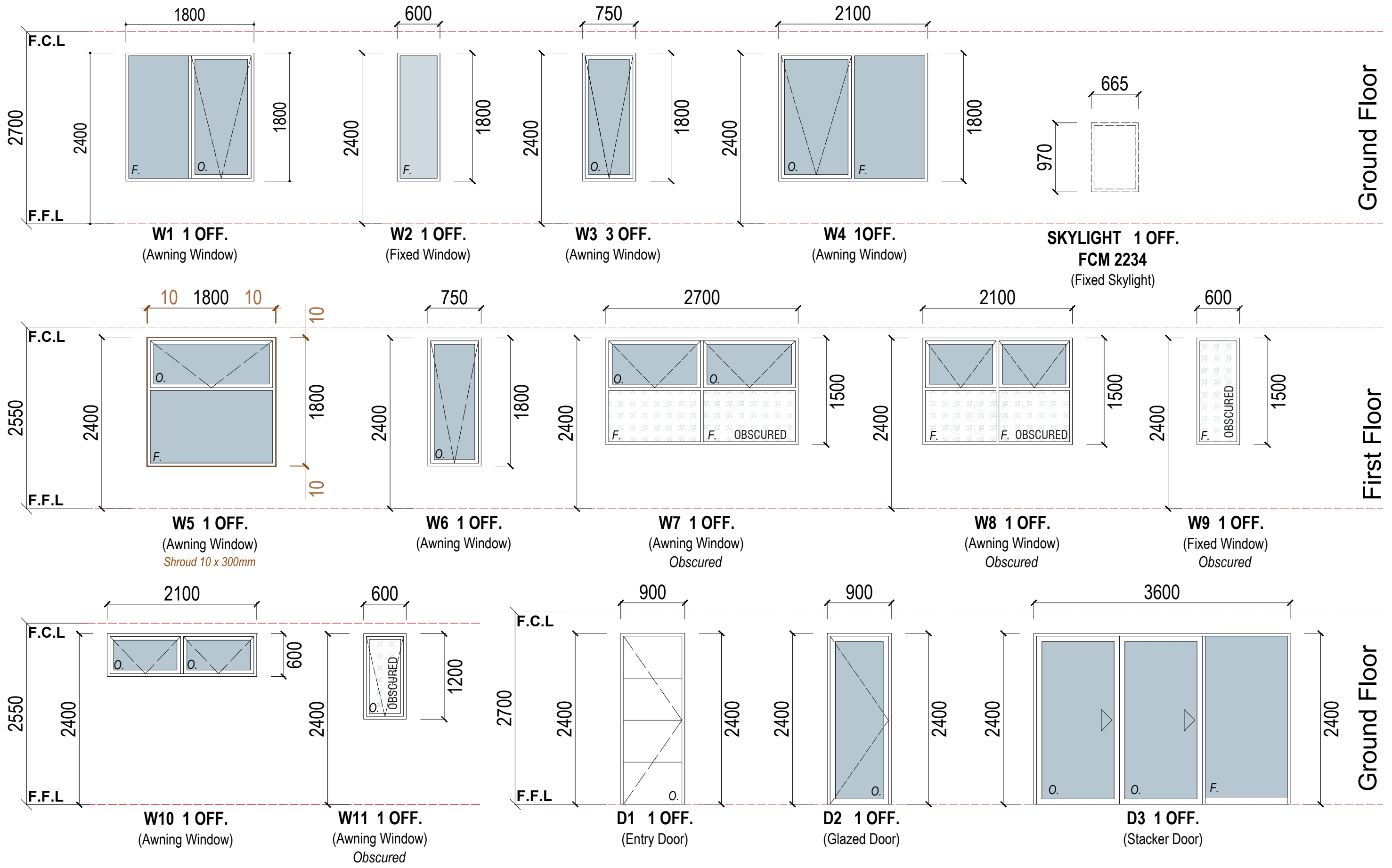


STAIR DETAIL (TYPICAL)

SCALE 1:20

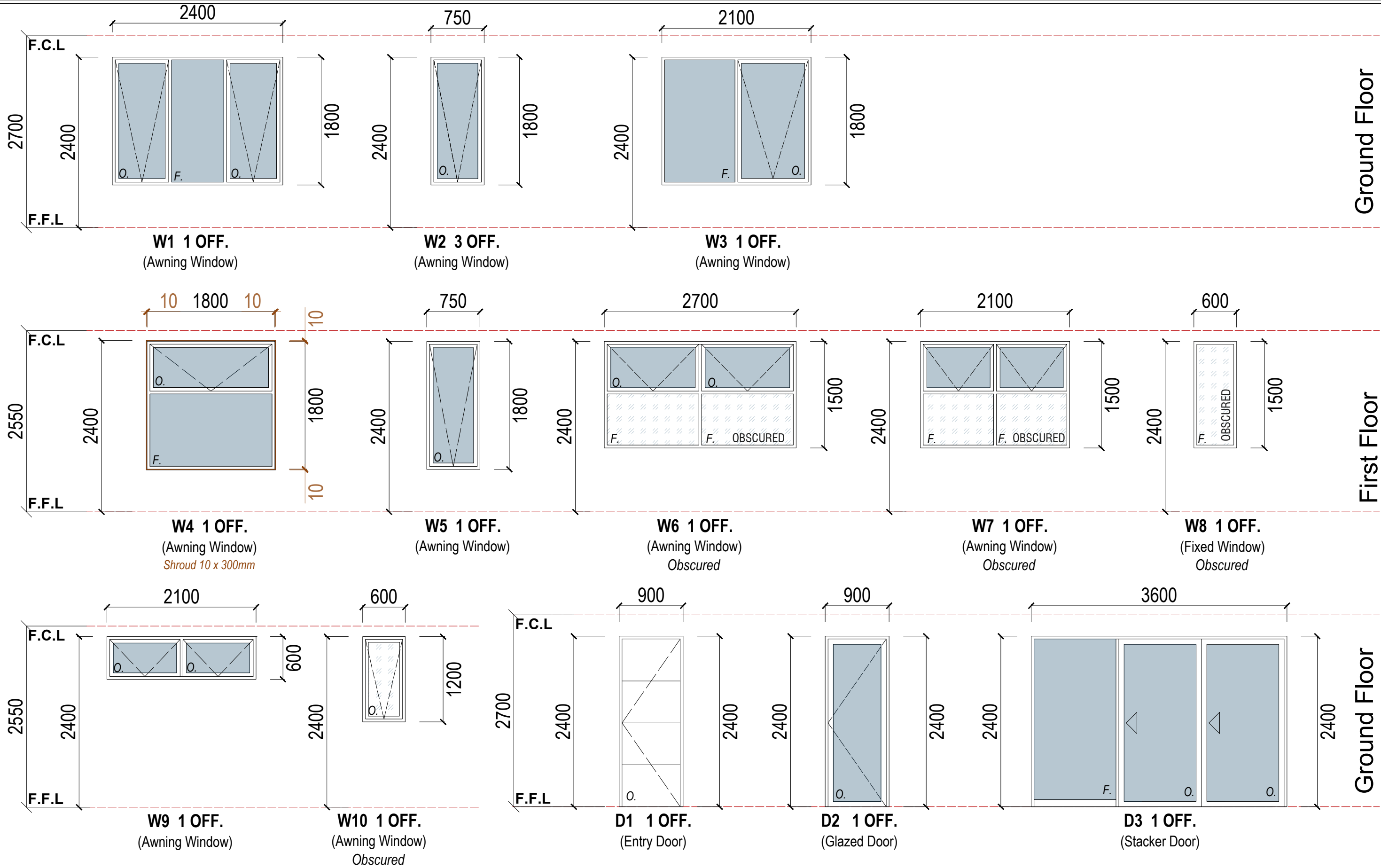
DETAILS

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 29 of 43 Scale: A3 (1:100) Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
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WINDOWS SCHEDULE _ UNIT 5
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	<small>Important Notes:</small> These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.	Drawn: ET Checked:	<small>Copyright on these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd.</small> Reproduction in part or in whole of these drawings and associated documentation without the permission of 2FORM Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright will be taken in accordance with the provisions of the Copyright Act 1968. All windows and door scales to be verified on site prior to ordering.	<table border="1"> <tr> <td>Page:</td> <td>30 of 43</td> </tr> <tr> <td>Scale:</td> <td>1:50</td> </tr> <tr> <td>Date:</td> <td>13/05/2024</td> </tr> <tr> <td>Job Number:</td> <td>ETJ_003_2021</td> </tr> </table>	Page:	30 of 43	Scale:	1:50	Date:	13/05/2024	Job Number:	ETJ_003_2021
	Page:		30 of 43										
Scale:	1:50												
Date:	13/05/2024												
Job Number:	ETJ_003_2021												
<table border="1"> <tr> <td rowspan="2"> 2FORM CONSULTING PTY LTD </td> <td> PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604 </td> </tr> <tr> <td> ETJ_003_2021 </td> </tr> </table>		2FORM CONSULTING PTY LTD	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604	ETJ_003_2021									
2FORM CONSULTING PTY LTD	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604												
	ETJ_003_2021												



WINDOWS SCHEDULE _ UNIT 6
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	<small>Important Notes:</small> These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.	<small>Copyright on these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd.</small> Reproduction in part or in whole of these drawings and associated documentation without the permission of 2FORM Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All windows and door scales to be verified on site prior to ordering.	Drawn: ET Checked:	Page: 31 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	Job Number:					

PROPOSED UNIT 5

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 59 of 9 Watt LED Downlights = 531 Watt

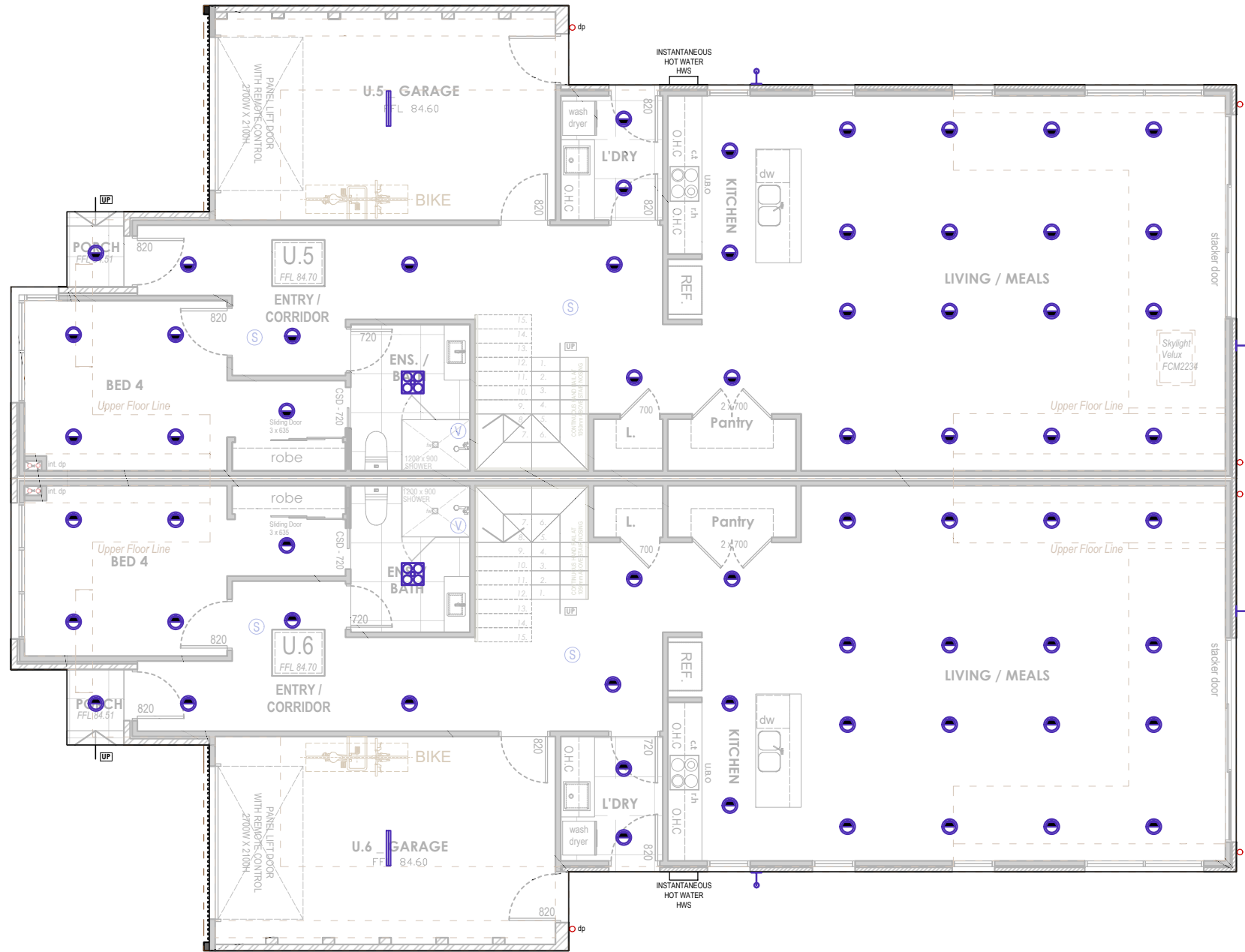
TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



PROPOSED UNIT 6

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 59 of 9 Watt LED Downlights = 531 Watt

TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

MAXIMUM ALLOWED WATT USAGE : 191.84 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT

ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
(RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	



ARTIFICIAL LIGHTING GROUND FLOOR PLAN

_ unit 5 and 6

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive,
Burnside Heights VIC

Client:

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Scale: A3 (1:100) Date: 13/05/2024
Job Number: ETJ_003_2021



PROPOSED UNIT 5

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

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TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

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TOTAL WATT USAGE = 27 WATT



PROPOSED UNIT 6

LIVING AREA : 232.03 sqm

MAXIMUM ALLOWED WATT USAGE : 1160.15 WATT

INTERNAL LIGHTS : 59 of 9 Watt LED Downlights = 531 Watt

TOTAL WATT USAGE = 531 WATT

EXTERNAL AREA : 47.96 sqm

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	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	



ARTIFICIAL LIGHTING FIRST FLOOR PLAN
_ unit 5 and 6

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive,
Burnside Heights VIC

Client:

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PO Box 430
Yarraville vic. 3013
Ph: 9607 2385
Mob: 0419 585 604

NOTE:

(V) PROVIDE MECHANICAL VENTILATION WITH DAMPER OR FLAP, DUCTED TO THE OUTSIDE AIR

MECHANICAL EXHAUST FAN IS TO PROVIDE MINIMUM AIR FLOW DUCTED TO OUTTER AIR AS BELOW:

- 25L/s FOR BATHROOMS and SANITARY,
- 40L/s FOR KITCHEN and LAUNDRY

AS PER CLAUSE 3.8.7.3 of NCC 2019, EXHAUST FROM BATHROOM, SANITARY COMPARTMENT, or LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT or DUCT TO OUTDOOR AIR or TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4 of NCC 2019

(S) PROVIDE SMOKE ALARMS HARDWIRED AND ARE TO COMPLY AS. 3786-1993, 1.4-2004, AND AS. 3786-2014 & RELEVANT NCC BCA

ALL SMOKE DETECTORS TO BE INTERCONNECTED

NOTE:

WEEP-HOLES TO BE PROVIDED IN ACCORDANCE WITH SECTION 4.7.2 OF AS 3700

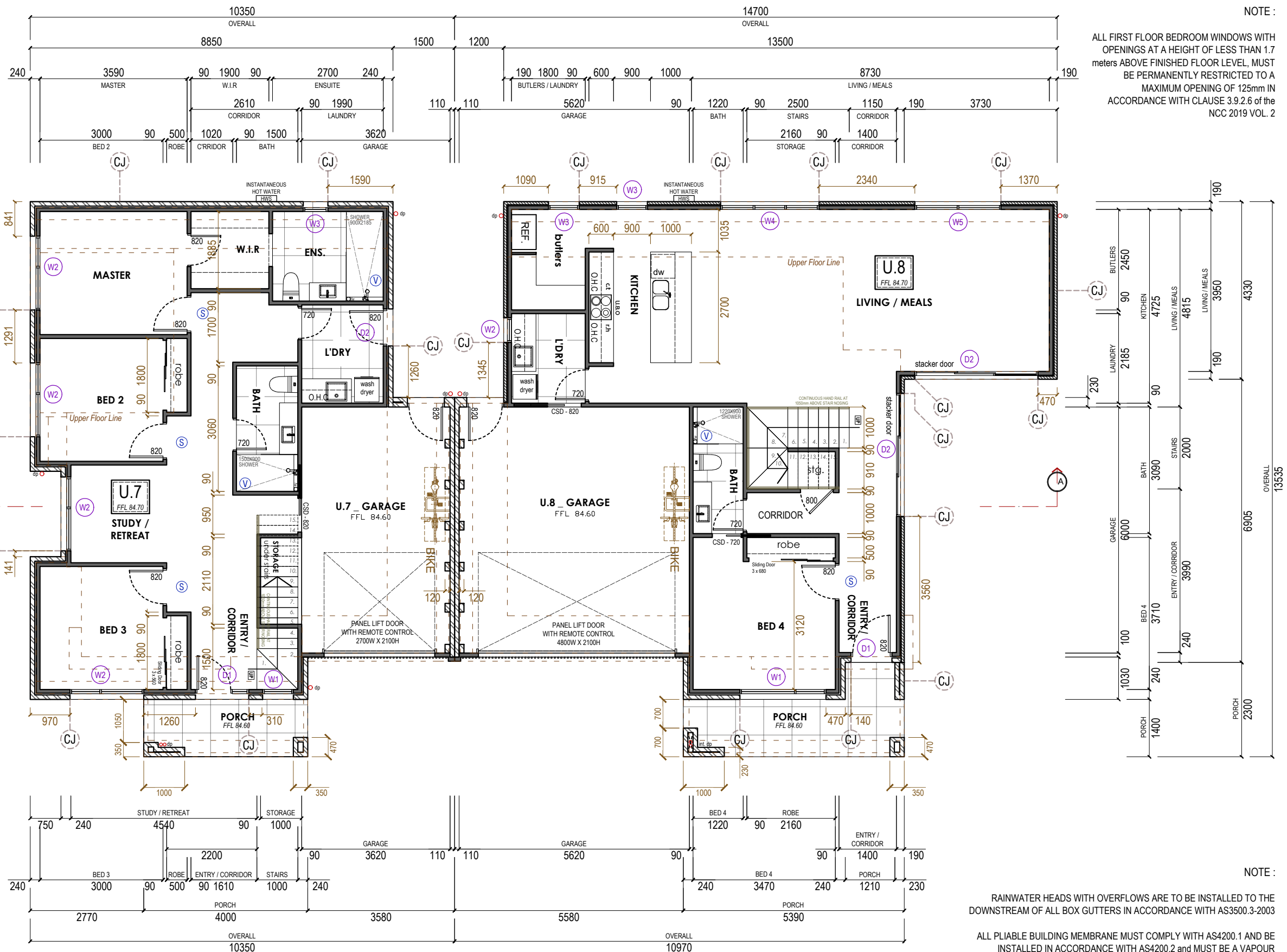
ALL LAND ADJACENT TO PERIMETER FOOTING MUST BE GRADED AWAY AT 1:50 OVER 1m AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

ALL SANITARY COMPARTMENTS TO HAVE OUTWARDS OPENING DOORS OR REMOVABLE HINGES FROM OUTSIDE.

ALL EXTERNAL EXITS ABOVE 190mm FROM GROUND LEVEL TO HAVE CONCRETE STEPS WITH 190mm MAX. RISERS AND 250mm MIN. TREADS.

ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

(CJ) Construction Joint



NOTE:

ALL FIRST FLOOR BEDROOM WINDOWS WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7 METERS ABOVE FINISHED FLOOR LEVEL, MUST BE PERMANENTLY RESTRICTED TO A MAXIMUM OPENING OF 125mm IN ACCORDANCE WITH CLAUSE 3.9.2.6 OF THE NCC 2019 VOL. 2

NOTE:

RAINWATER HEADS WITH OVERFLOWS ARE TO BE INSTALLED TO THE DOWNSTREAM OF ALL BOX GUTTERS IN ACCORDANCE WITH AS3500.3-2003

ALL PLIABLE BUILDING MEMBRANE MUST COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT.



GROUND FLOOR PLAN _ unit 7 and 8

SCALE 1:100 ON A3

BUILDING AREA

BUILDING AREA UNIT 7	
GROUND FLOOR	90.06 sqm / 9.69 sq
GARAGE	23.09 sqm / 2.49 sq
FIRST FLOOR	64.51 sqm / 6.94 sq
PORCH	5.60 sqm / 0.60 sq
BALCONY	13.52 sqm / 1.46 sq
TOTAL	196.78 sqm / 21.18 sq

BUILDING AREA UNIT 8	
GROUND FLOOR	101.24 sqm / 10.90 sq
GARAGE	35.22 sqm / 3.79 sq
FIRST FLOOR	85.85 sqm / 9.24 sq
PORCH	8.84 sqm / 0.95 sq
TOTAL	231.15 sqm / 24.88 sq

Working Drawing of Proposed Townhouse Development
 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client: _____
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 Mob: 0419 585 604

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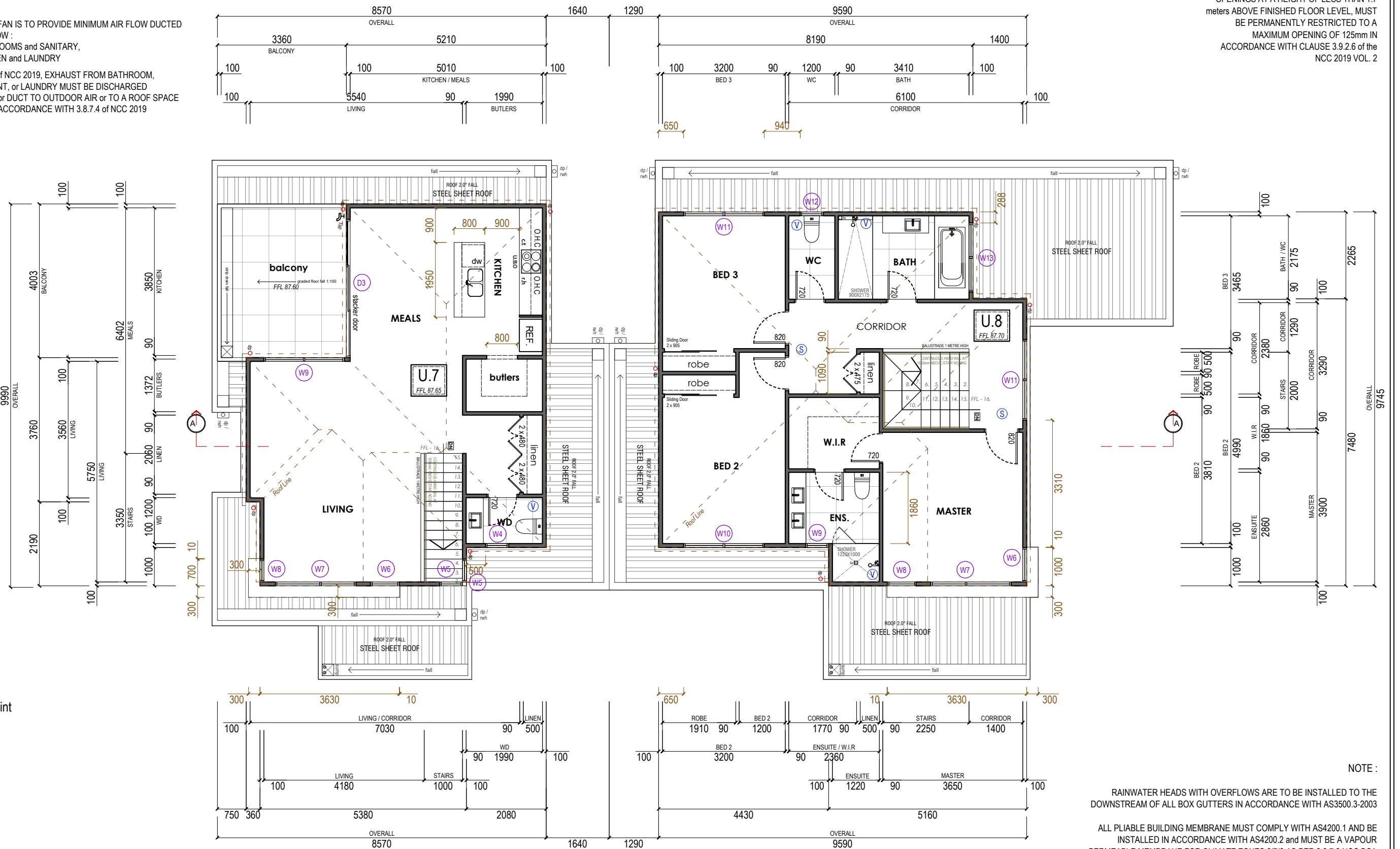
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BUILDING AREA

BUILDING AREA UNIT 7		BUILDING AREA UNIT 8	
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TOTAL	196.78 sqm / 21.18 sq		



FIRST FLOOR PLAN _ unit 7 and 8

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development

72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

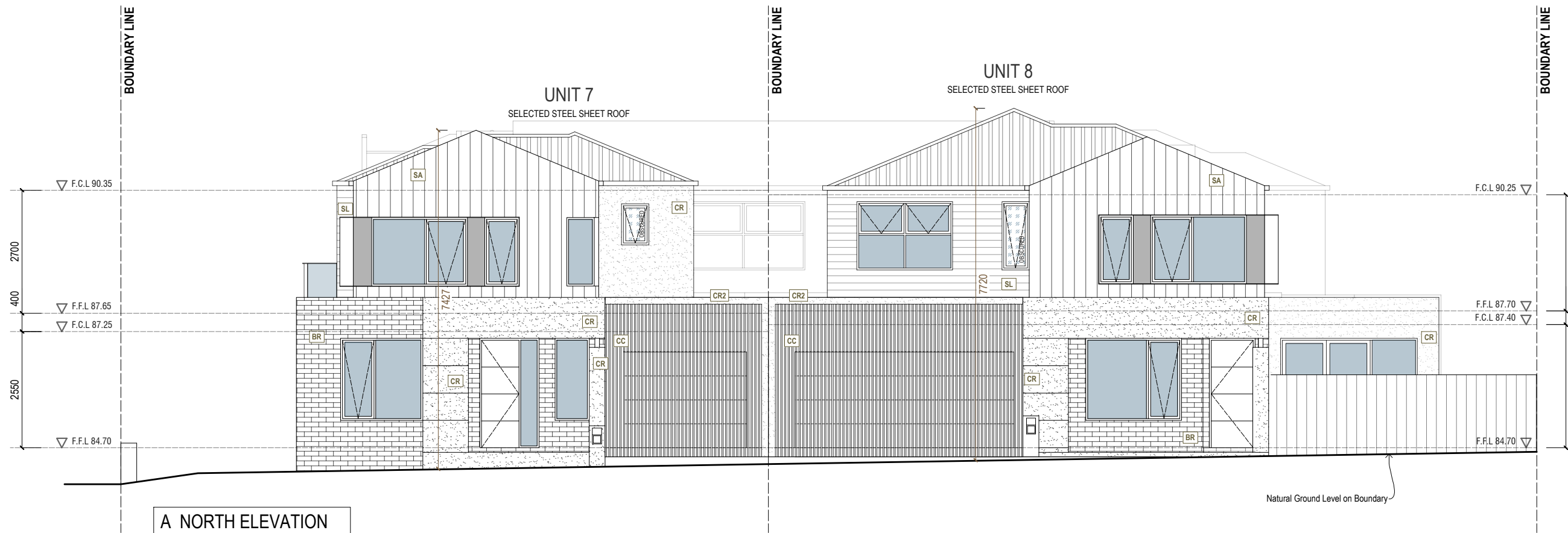
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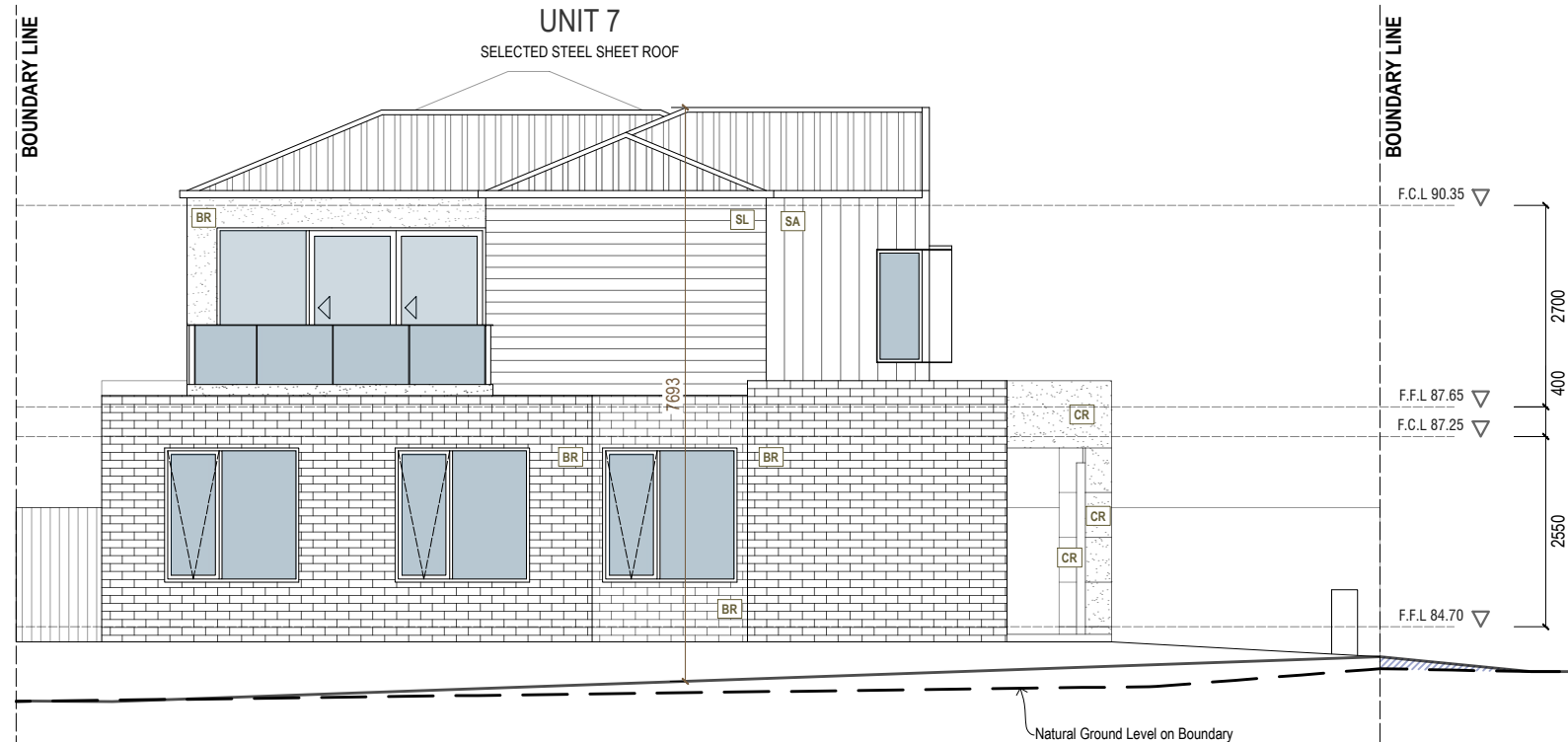
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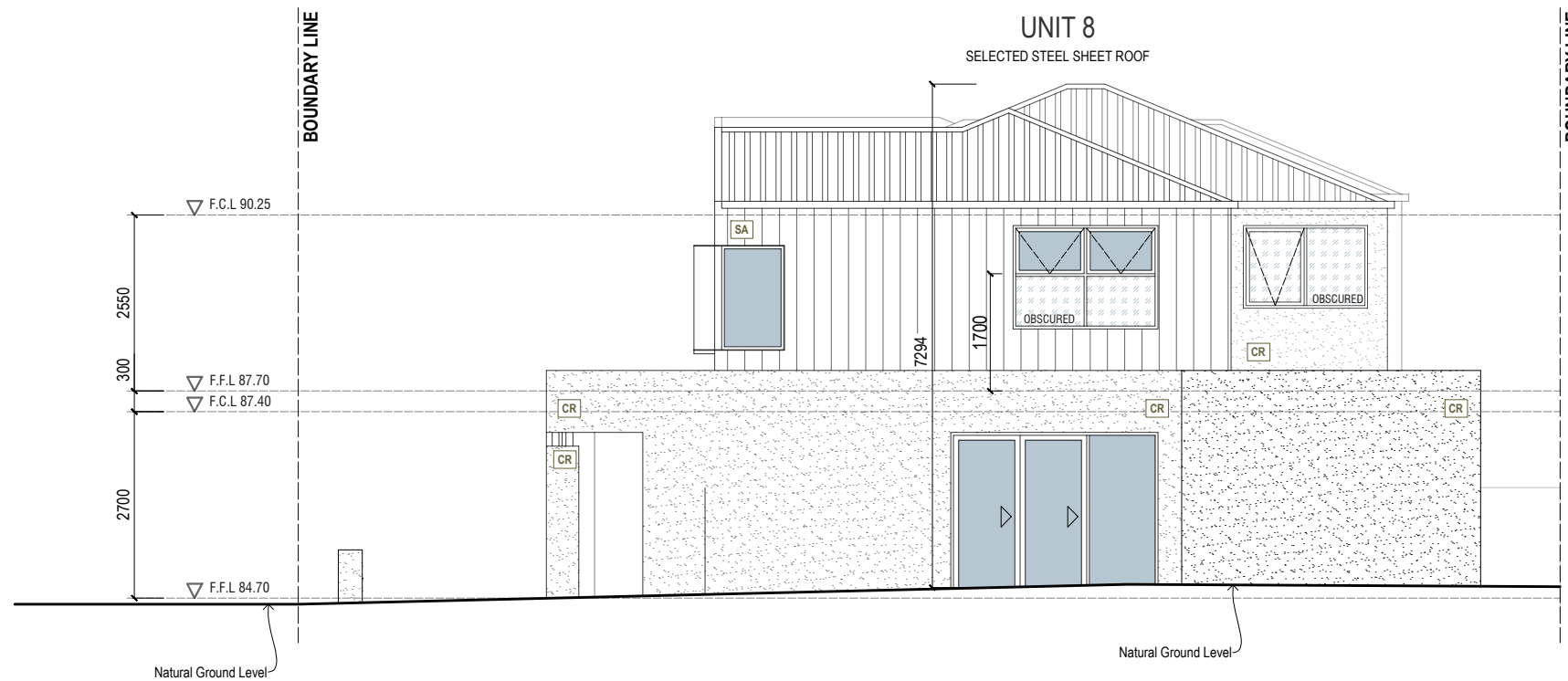
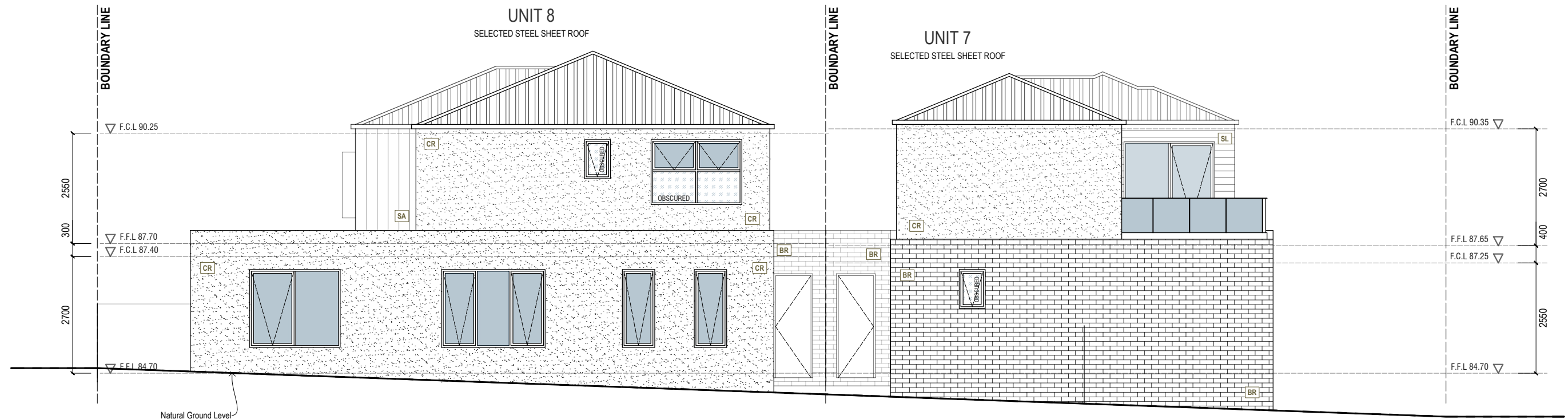


A NORTH ELEVATION



B EAST ELEVATION

	MATERIAL	NOTE
SL	HARDIE LINEA	WOODLAND GREY
SA	HARDIE AXON	SHALE GREY
CR	CEMENT RENDER	SHALE GREY
CR2	CEMENT RENDER 2	WOODLAND GREY
Br	SELECTED BRICKWORK	RED RECYCLED BRICK
CC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
	EXPOSED AGGREGATE	SUNDOWN



D WEST ELEVATION

	MATERIAL	NOTE
Ⓢ	HARDIE LINEA	WOODLAND GREY
ⓈA	HARDIE AXON	SHALE GREY
ⒸR	CEMENT RENDER	SHALE GREY
ⒸR2	CEMENT RENDER 2	WOODLAND GREY
Ⓡ	SELECTED BRICKWORK	RED RECYCLED BRICK
ⒸC	CASTELLATED CLADDING	WOODLAND GREY
	DOOR - WINDOW	MONUMENT
	FASCIA - GUTTER	SHALE GREY
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Working Drawing of Proposed Townhouse Development
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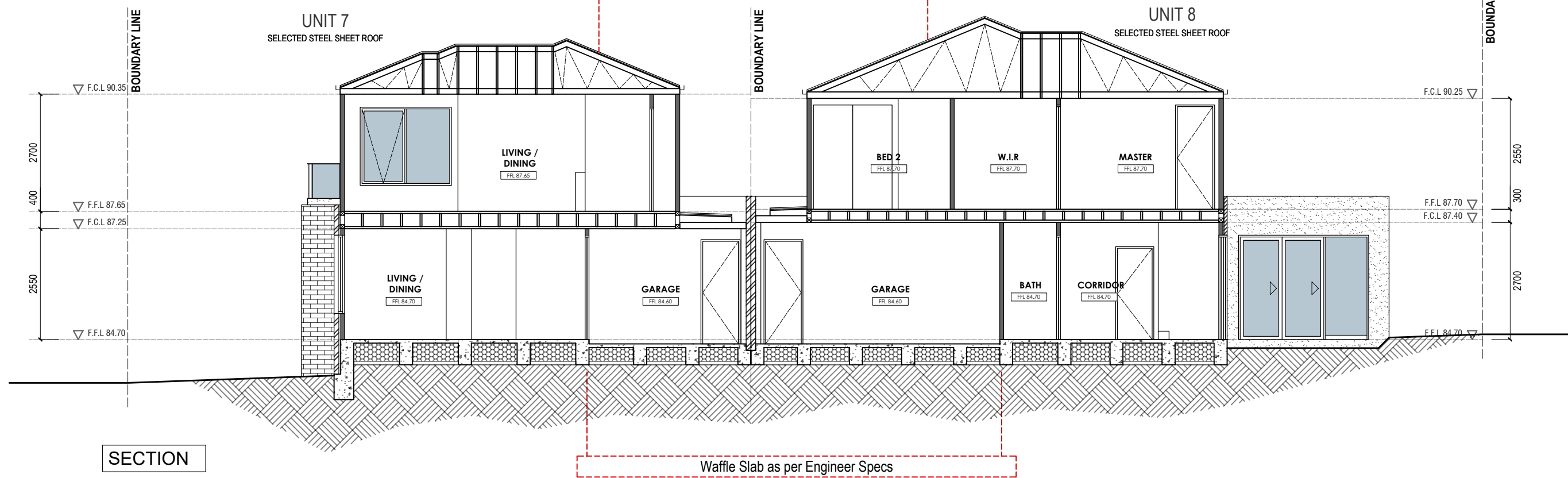
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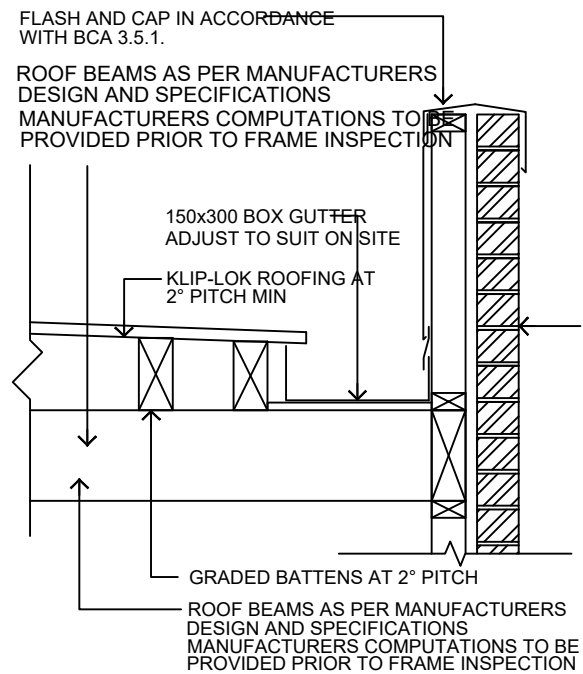
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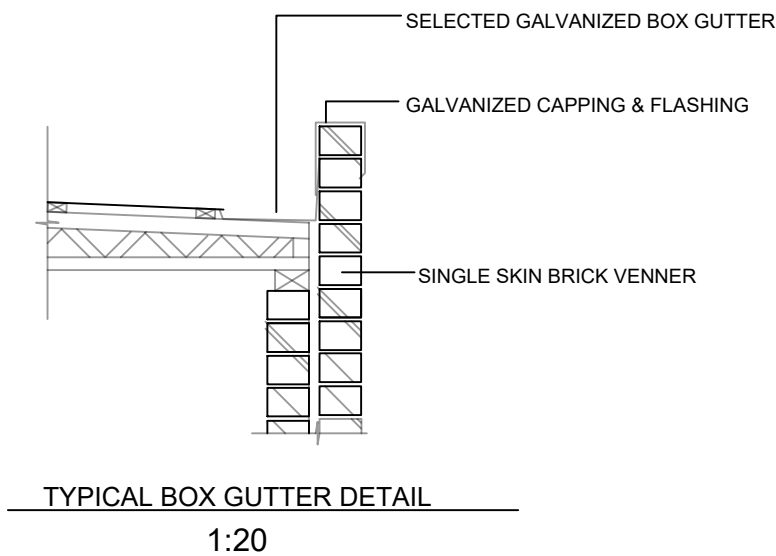
TRUSS ROOF MANUFACTURERS SPECIFICATIONS
 to be provided prior to the erection of loadbearing points i.e. Lintels, Studs supporting concentrated loads to be designed by concrete decking manufacturer and/or structural engineer. If structural design was provided than design engineer to verify the structural design and specification as required



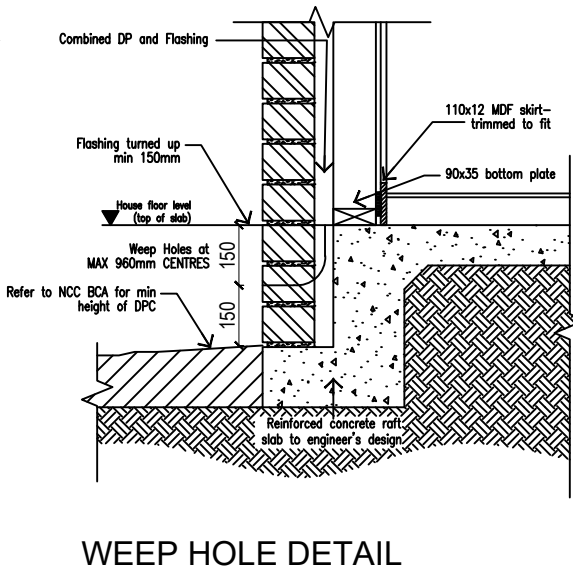
SECTION



TYPICAL BOX GUTTER DETAIL
 SCALE 1:20



TYPICAL BOX GUTTER DETAIL
 1:20



WEEP HOLE DETAIL

TIMBER SCHEDULE	
* FOR ALL TIMBER SIZES REFER TO TIMBER FRAMING MANUAL AS 1684	
WALLING:	
BOTTOM PLATES	90x45 MGP10 SINGLE STOREY / UPPER FLOOR
TOP PLATES	90x45 MGP10
BOTTOM PLATES	90x45 MGP12 GROUND FLOOR ON MULTI LEVEL
TOP PLATES	90x45 MGP12
RIBBON PLATES	2x90x35 MGP10 EXTERNAL LOAD BEARING WALLS ONLY
STUDS	90x45 MGP10 @ MAX. 600 ctrs.
JAMB STUDS	90x70 F5 OR 2/90x35
NOGGINGS	70x35 MERCH
PROVIDE METAL TENSION BRACING TO ALL WALLING USE STRUCTURAL MASONITE WHERE METAL BRACE NOT PRACTICAL.	
ROOFING:	
NOTE: CONCRETE DECKING ROOF TO MANUFACTURERS SPECIFICATIONS	
LINTELS:	
LINTELS AS PER AS 1684.	
OPENINGS TO 600mm	90x35 F5
OPENINGS TO 1400mm	140x35 F7
OPENINGS TO 2100mm	190x35 F7
OPENINGS TO 2700mm	240x45 F17

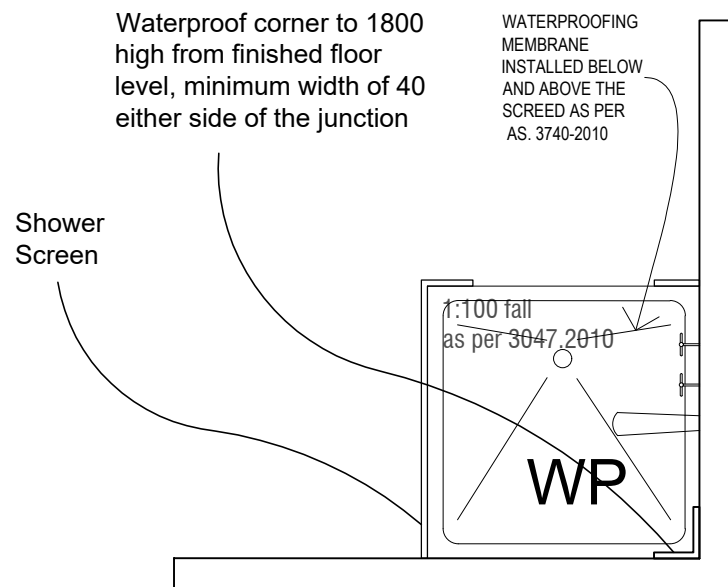
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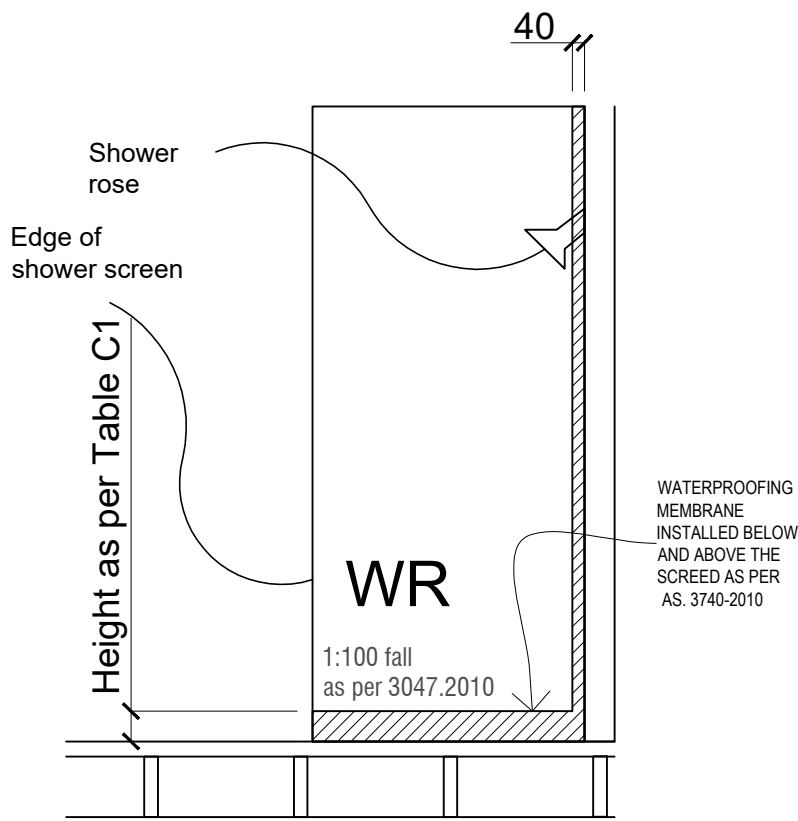
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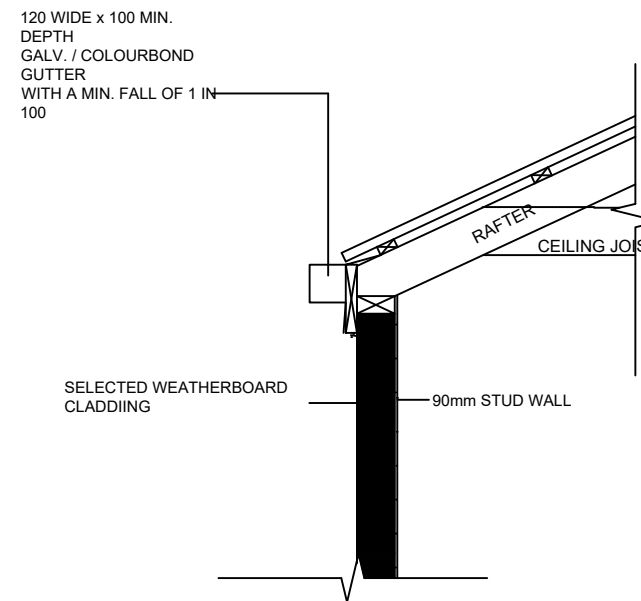
ENCLOSED SHOWER WATERPROOF PLAN

to comply with AS. 3740
SCALE 1:30 on A3



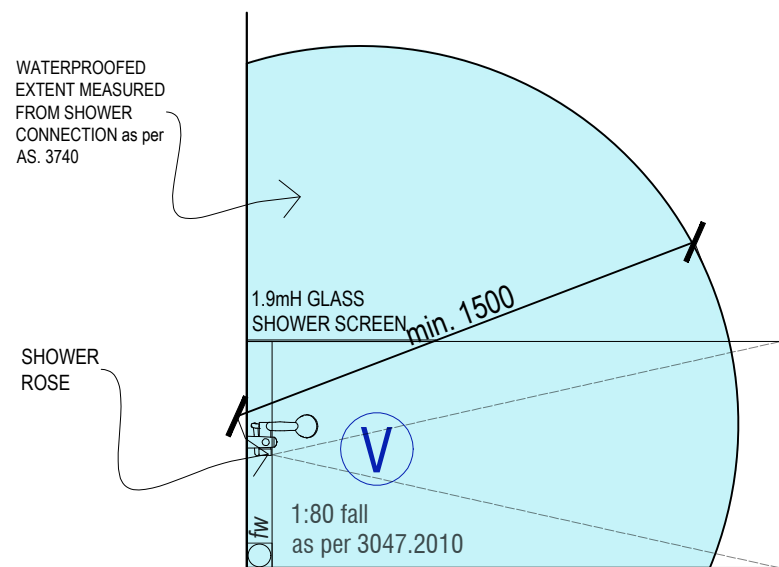
ENCLOSED SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3



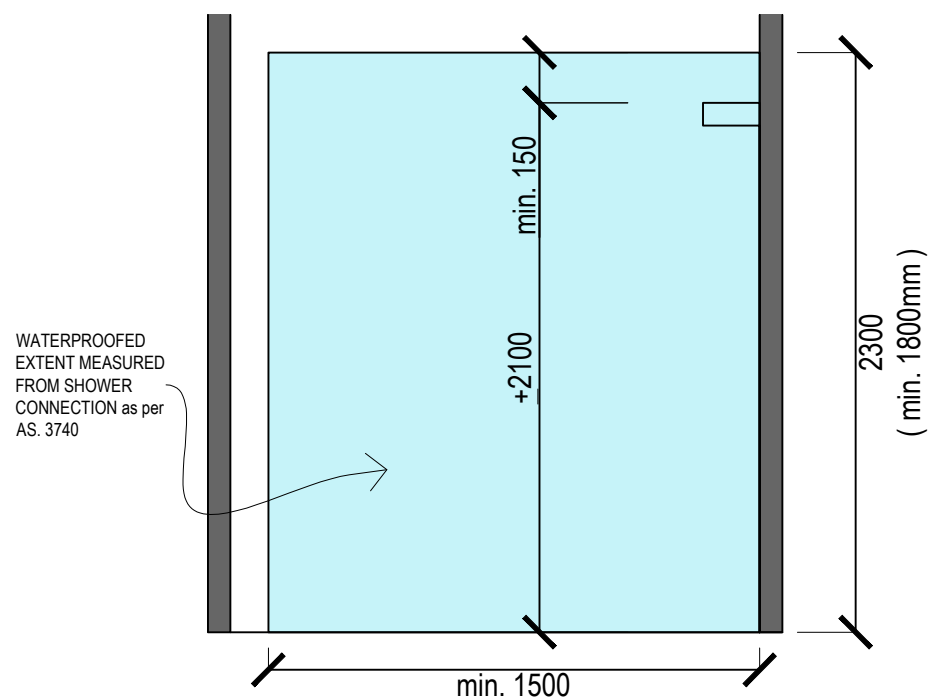
TYPICAL GUTTER ON WALL DETAIL

SCALE 1:20



SHOWER WATERPROOF PLAN

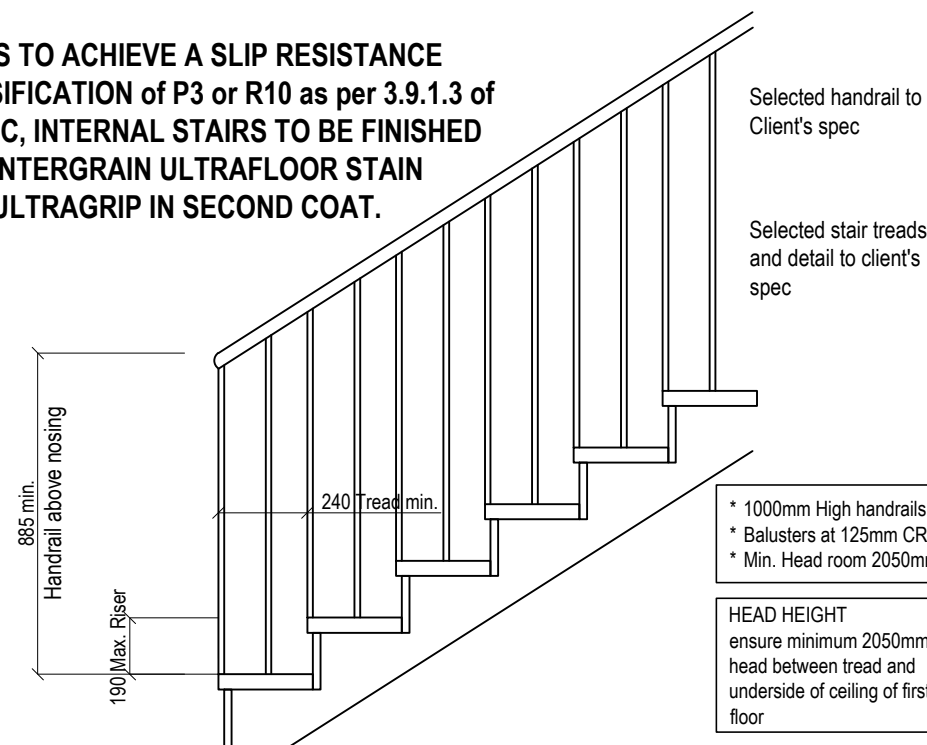
to comply with AS. 3740
SCALE 1:30 on A3



SHOWER WATERPROOF ELEVATION

to comply with AS. 3740
SCALE 1:30 on A3

STAIRS TO ACHIEVE A SLIP RESISTANCE CLASSIFICATION of P3 or R10 as per 3.9.1.3 of the NCC, INTERNAL STAIRS TO BE FINISHED WITH INTERGRAIN ULTRAFLOOR STAIN WITH ULTRAGRIP IN SECOND COAT.

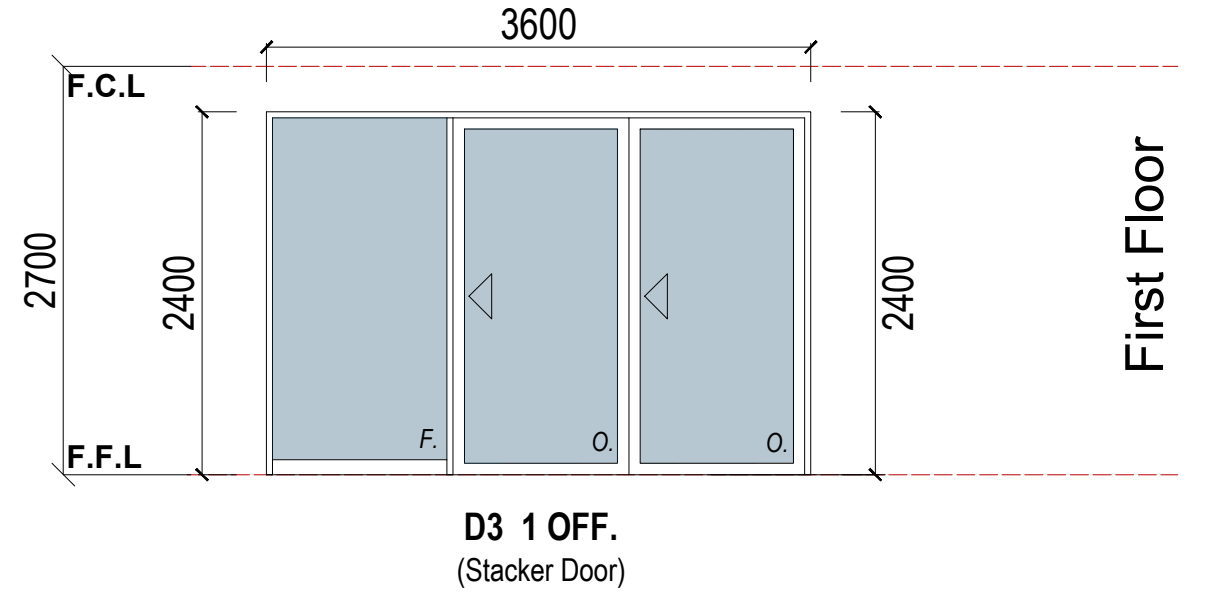
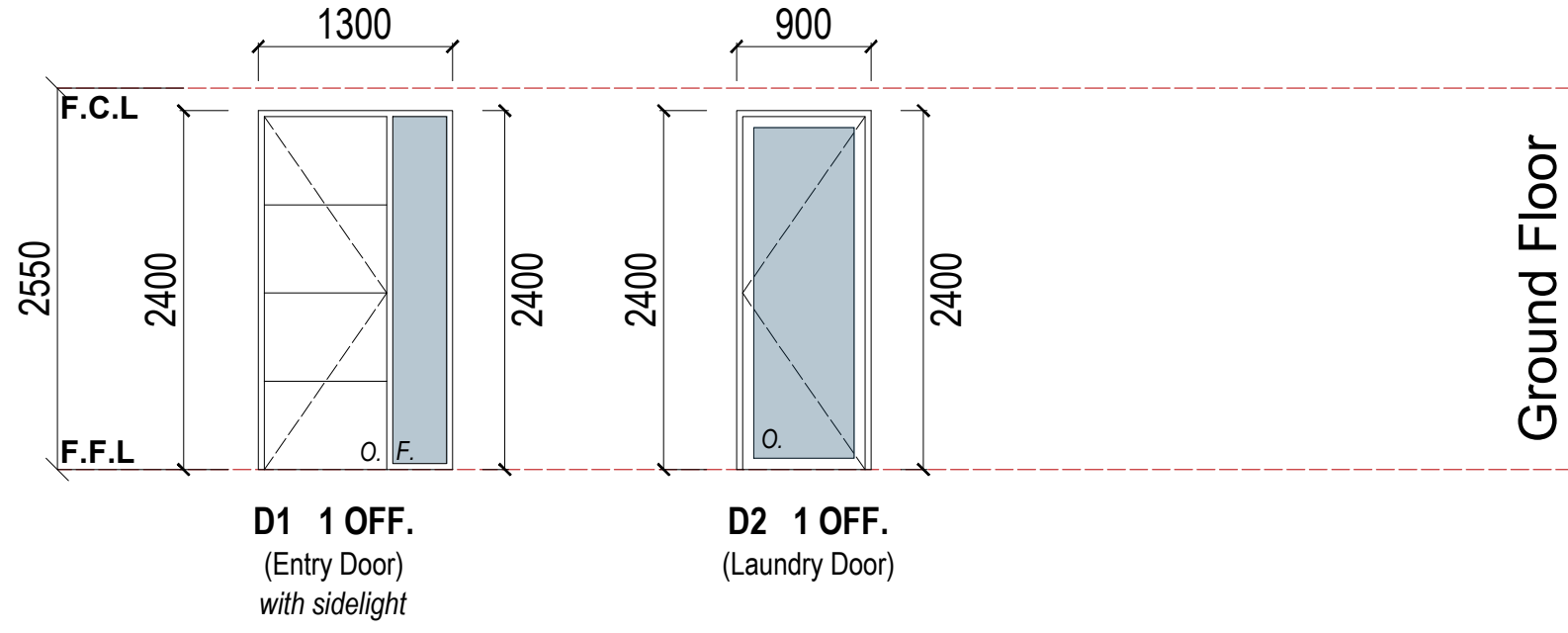
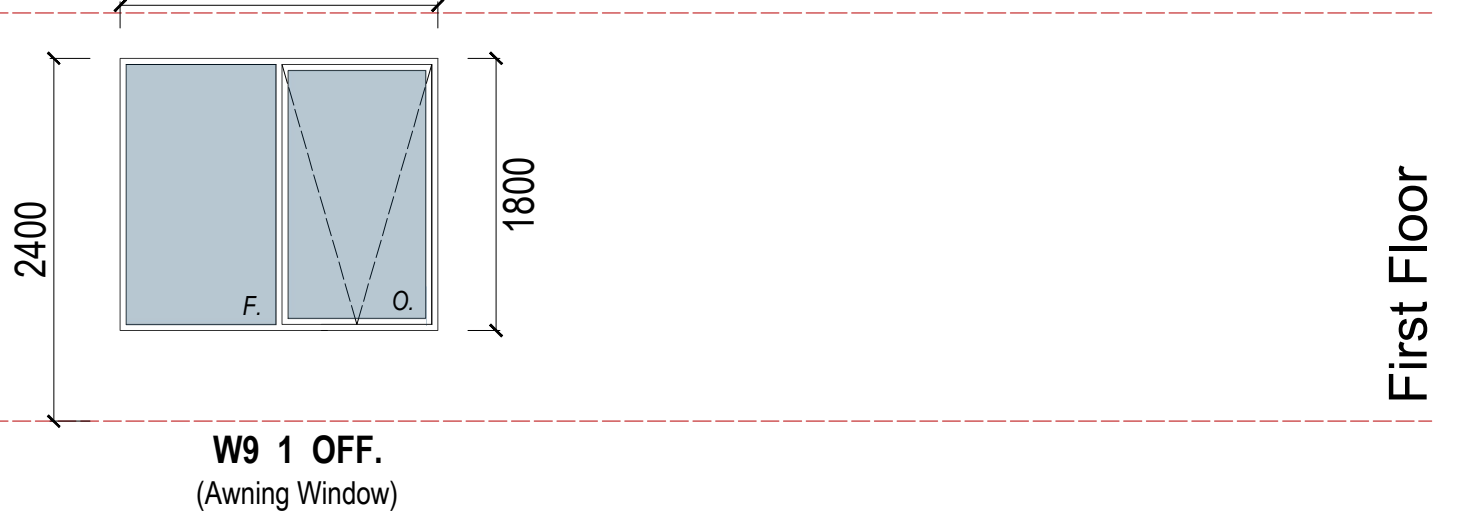
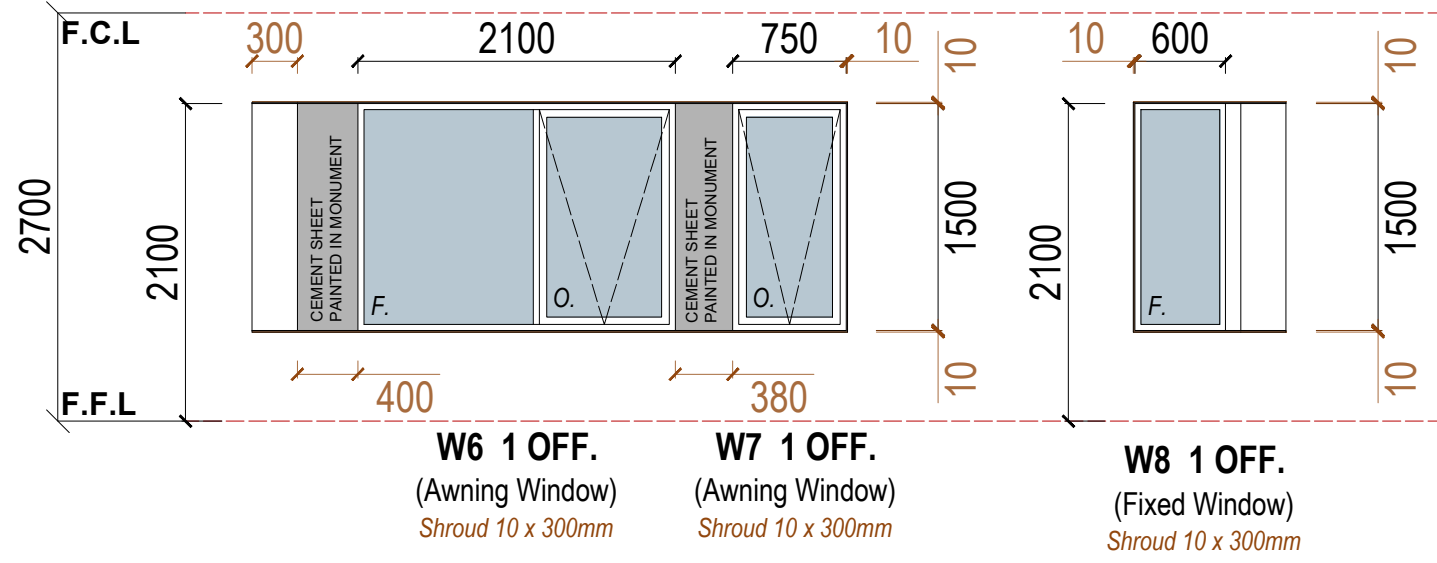
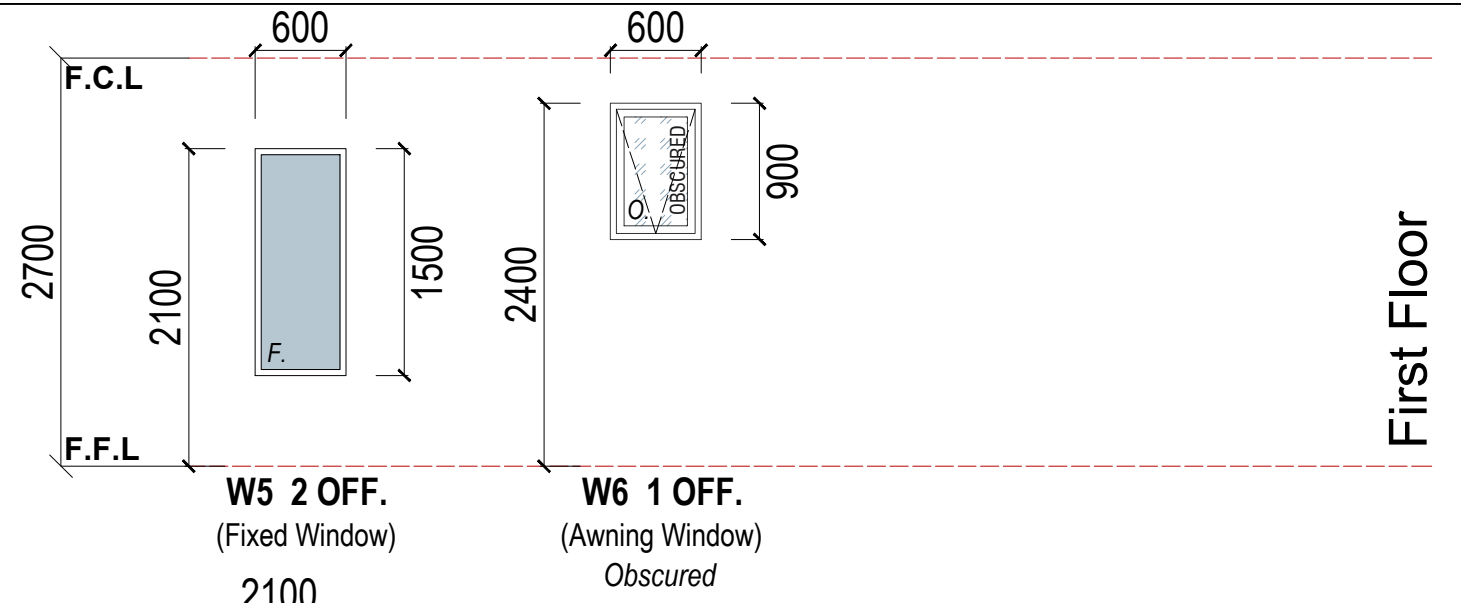
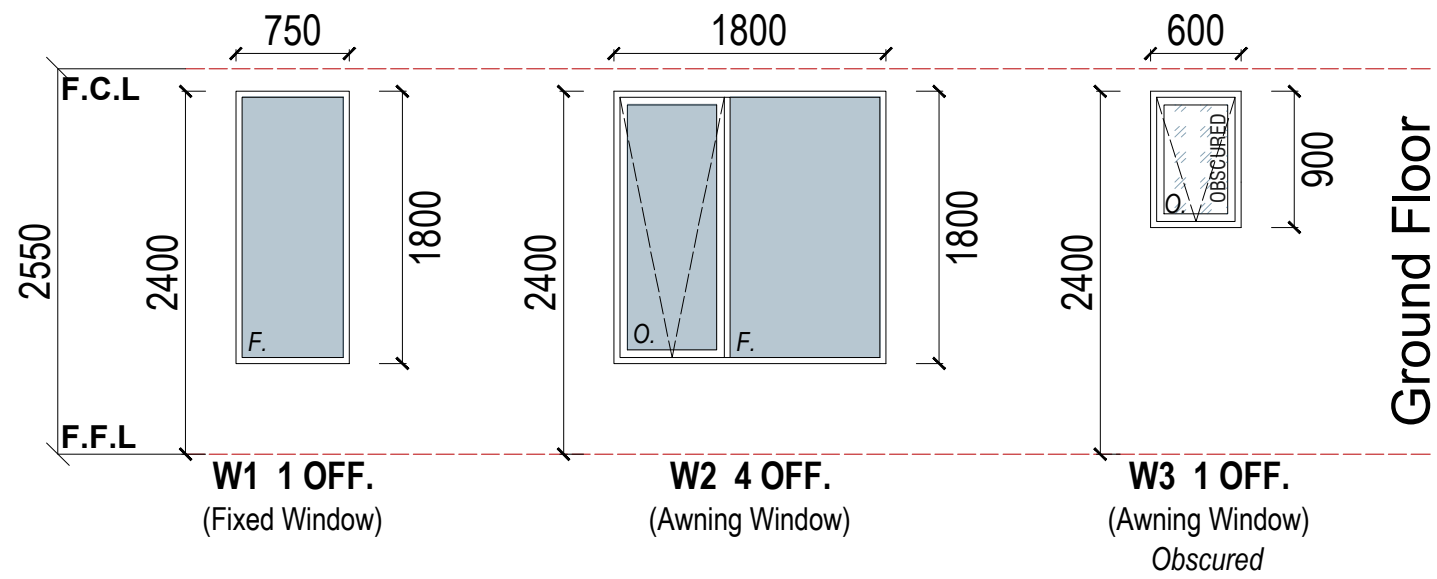


STAIR DETAIL (TYPICAL)

SCALE 1:20

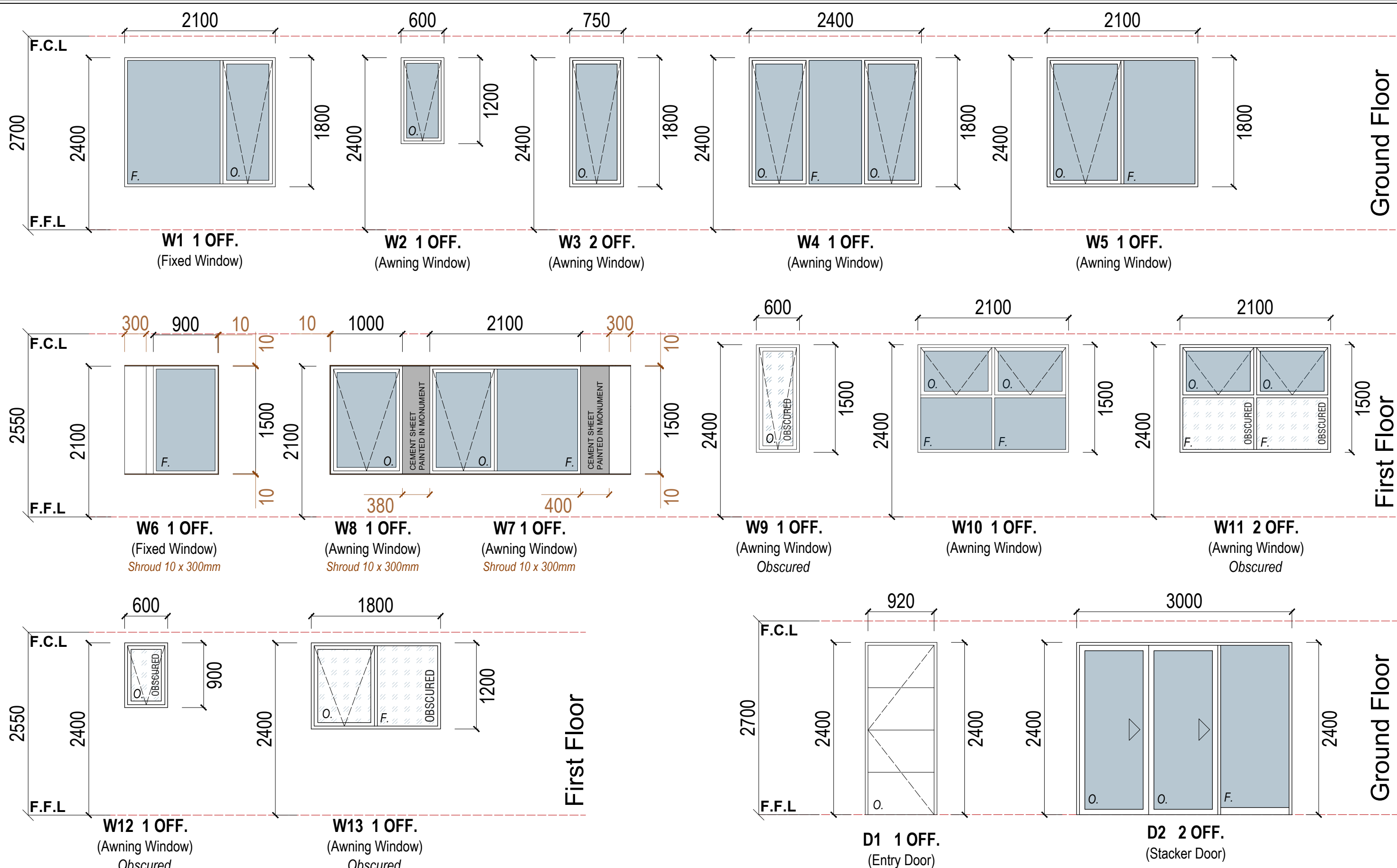
DETAILS

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 39 of 43 Scale: A3 (1:100) Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	Important Notes: These drawings must not be scaled. It is the holder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd.	Copyright on these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2Form Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All dimensions and door sizes to be verified on site prior to ordering.	



WINDOWS SCHEDULE _ UNIT 7
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	Drawn: ET Checked: ET Page: 40 of 43 Scale: 1:50 Date: 13/05/2024 Job Number: ETJ_003_2021	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	<small> Important Notes: These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2Form Consulting Pty Ltd. </small>	<small> Copyright on these drawings and associated documentation is owned by 2Form Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2Form Consulting Pty Ltd. will constitute an infringement of copyright. Should an infringement of copyright will be taken in accordance with the provisions of the Copyright Act 1968. All window and door sizes to be verified on site prior to ordering. </small>	



WINDOWS SCHEDULE _ UNIT 8
SCALE 1:50 on A3 Paper

Working Drawing of Proposed Townhouse Development		Client:	72, 73, 91, 92 Katrina Drive, Burnside Heights VIC
Drawn: ET	Checked:	Page: 41 of 43	Scale: 1:50 Date: 13/05/2024
<small>Important Notes:</small> These drawings must not be scaled. Figure dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.		<small>Copyright on these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd.</small> Reproduction in part or in whole of these drawings and associated documentation without the permission of 2FORM Consulting Pty Ltd. will constitute an infringement of copyright. Should any infringement of copyright be taken in accordance with the provisions of the Copyright Act 1968. All window and door sizes to be verified on site prior to ordering.	
Job Number: ETJ_003_2021		 PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604	

PROPOSED UNIT 7

LIVING AREA : 154.57 sqm

MAXIMUM ALLOWED WATT USAGE : 772.85 WATT

INTERNAL LIGHTS : 42 of 9 Watt LED Downlights = 378 Watt

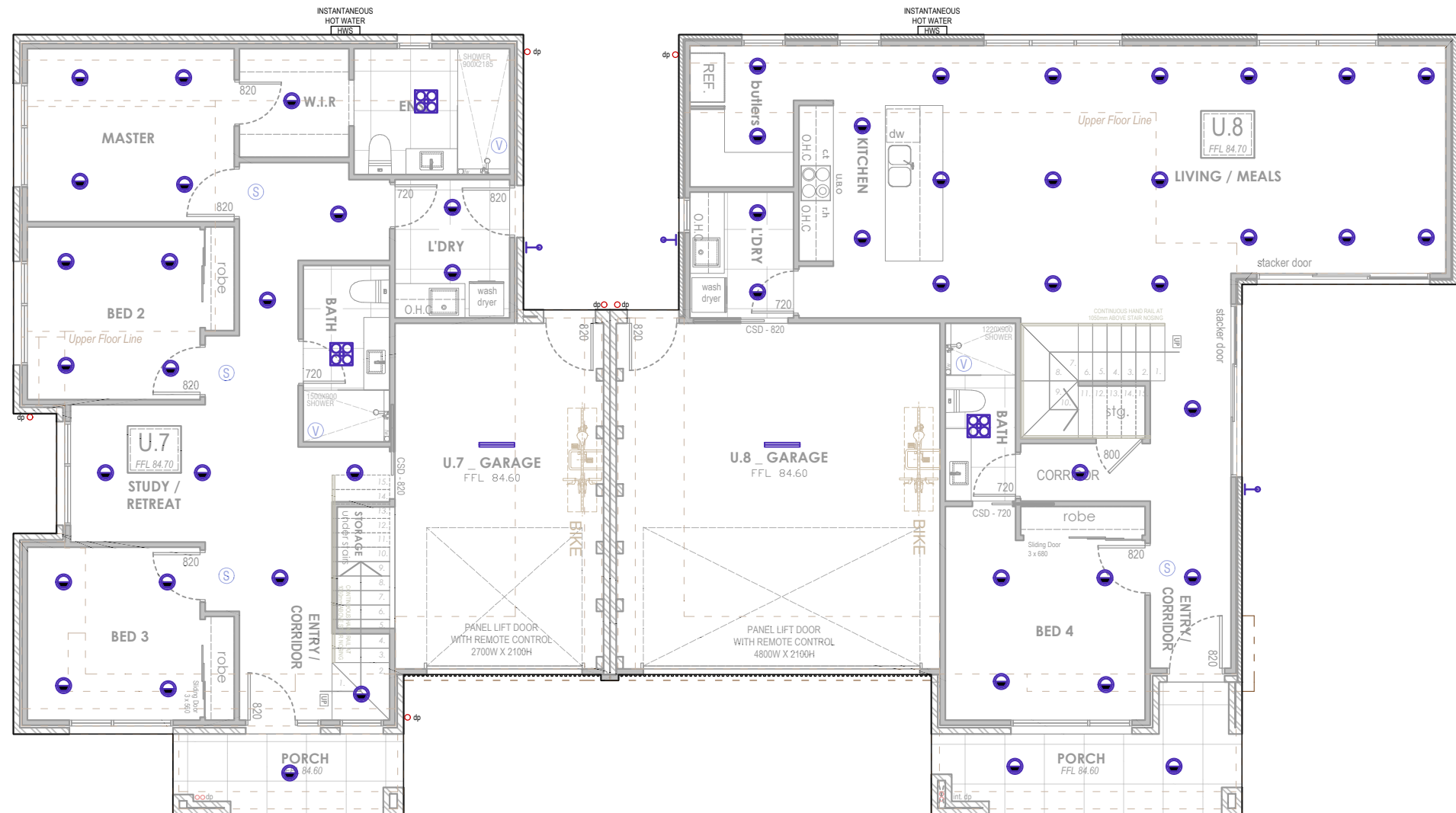
TOTAL WATT USAGE = 378 WATT

EXTERNAL AREA : 19.12 sqm

MAXIMUM ALLOWED WATT USAGE : 76.48 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
(RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	

PROPOSED UNIT 8

LIVING AREA : 187.09 sqm

MAXIMUM ALLOWED WATT USAGE : 935.45 WATT

INTERNAL LIGHTS : 48 of 9 Watt LED Downlights = 432 Watt

TOTAL WATT USAGE = 432 WATT

EXTERNAL AREA : 49.44 sqm

MAXIMUM ALLOWED WATT USAGE : 197.76 WATT

EXTERNAL LIGHTS : 4 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



ARTIFICIAL LIGHTING GROUND FLOOR PLAN
_ unit 7 and 8

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development 72, 73, 91, 92 Katrina Drive, Burnside Heights VIC	Client:	These drawings must not be scaled. Figural Dimensions take precedence. It is the builder and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any work and ordering of materials. Any discrepancies are to be reported to this office immediately. These drawings shall not be altered in any form without the written permission from 2FORM Consulting Pty Ltd.	Copyright on these drawings and associated documentation is owned by 2FORM Consulting Pty Ltd. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2FORM Consulting Pty Ltd. will constitute an infringement of copyright. Should an infringement of copyright will be taken in accordance with the provisions of the Copyright Act 1968. All dimensions and door sizes to be verified on site prior to ordering.	Drawn: ET Checked:	PO Box 430 Yarraville vic. 3013 Ph: 9687 2385 Mob: 0419 585 604
	Page: 42 of 43 Scale A3 (1:100) Date: 13/05/2024 Job Number: ETJ_003_2021				

PROPOSED UNIT 7

LIVING AREA : 154.57 sqm

MAXIMUM ALLOWED WATT USAGE : 772.85 WATT

INTERNAL LIGHTS : 42 of 9 Watt LED Downlights = 378 Watt

TOTAL WATT USAGE = 378 WATT

EXTERNAL AREA : 19.12 sqm

MAXIMUM ALLOWED WATT USAGE : 76.48 WATT

EXTERNAL LIGHTS : 3 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT



PROPOSED UNIT 8

LIVING AREA : 187.09 sqm

MAXIMUM ALLOWED WATT USAGE : 935.45 WATT

INTERNAL LIGHTS : 47 of 9 Watt LED Downlights = 423 Watt

TOTAL WATT USAGE = 423 WATT

EXTERNAL AREA : 49.44 sqm

MAXIMUM ALLOWED WATT USAGE : 197.76 WATT

EXTERNAL LIGHTS : 4 of 9 Watt LED Downlights = 27 Watt

TOTAL WATT USAGE = 27 WATT

ELECTRICAL LEGEND - POSITIONS INDICATIVE ONLY
(RELATING TO FLOORS ON THIS SHEET ONLY)

	DOUBLE G.P.O. 300 HIGH	W - Weatherproof
	DOUBLE G.P.O. 1100 HIGH	AB - Above Bench
	GARAGE DOOR REMOTE G.P.O.	UB - Under bench
	EXHAUST FAN	
	SMOKE ALARM	
	T.V.	
	DATA / TELEPHONE	
	DOOR BELL / INTERCOM	
	INTERCOM MONITOR	
	ALARM KEYPAD	
	THERMOSTAT	
	HEATING AND COOLING POINTS	
	METER BOX	
	GAS METER	
	HOT WATER SYSTEM	
	600 SINGLE FLOURESCENT WITH OPAL DIFFUSER	
	600 DOUBLE FLOURESCENT WITH OPAL DIFFUSER	
	IXL TASTIC HEATER/FAN/LIGHTS	
	PENDANT / CHANDELIER	
	9W LED DOWNLIGHT	
	WALL MOUNTED LIGHT / RECESSED WALL LIGHT 50mm AFFL - STAIRS	
	FLOOD LIGHT	
	LED STRIP LIGHTING (RECESSED)	
	LED TRACK FEATURE LIGHTING	
	UP LIGHT / SPOTLIGHT (embedded in slab or deck or landscape)	
	BOLLARD LIGHT	
	LIGHT SWITCH	
	OUTDOOR WALL MOUNTED LIGHT	



ARTIFICIAL LIGHTING GROUND FLOOR PLAN
_ unit 7 and 8

SCALE 1:100 ON A3

Working Drawing of Proposed Townhouse Development
72, 73, 91, 92 Katrina Drive, Burnside Heights VIC

Client:
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Page: 43 of 43
Scale: A3 (1:100) Date: 13/05/2024
Job Number: ETJ_003_2021

